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**DESERT RESEARCH INSTITUTE
CULTURAL RESOURCES MITIGATION
REPORT LR041725-1-MIT
PROJECT NO. 253112**

**MITIGATION FOR THE DEMOLITION OF DORMITORY BUILDINGS 12-32, 12-34, 12-35,
AND 12-37 IN THE AREA 12 CAMP HISTORIC DISTRICT, NEVADA NATIONAL SECURITY
SITE, NYE COUNTY, NEVADA**

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Prepared for

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National Nuclear Security Administration
Nevada Field Office, Las Vegas, Nevada**

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August 2025

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INTRODUCTION

The purpose of this letter report is to document the mitigation of adverse effects of a proposed undertaking in compliance with the stipulations in the *Programmatic Agreement DE-GM58-22NA25554 Among the U.S. Department of Energy and the Nevada State Historic Preservation Officer and the Advisory Council on Historic Preservation Concerning the Protection of Historic Properties on the Nevada National Security Site, Nye County, Nevada*, hereafter referred to as the NNSS PA. The proposed undertaking would demolish Buildings 12-32 (State Historic Preservation Office [SHPO] Resource No. B18291), 12-34 (SHPO Resource No. B18292), 12-35 (SHPO Resource No. B18293), and 12-37 (SHPO Resource No. B18294) in the Area 12 Camp Historic District (SHPO Resource No. D372) on the Nevada National Security Site (NNSS). The Area 12 Camp Historic District has been determined eligible for listing in the National Register of Historic Places (NRHP) under Criteria A and C (Reed 2021; Reno et al. 2021).

MITIGATION FOR BUILDINGS 12-32, 12-34, 12-35 AND 12-37

NNSA/NFO, in consultation with the State Historic Preservation Officer (SHPO) and the Advisory Council on Historic Preservation (ACHP), defined standard mitigation for undertakings adversely affecting contributing elements in historic districts in NNSS PA Appendix D. NNSA/NFO notified the SHPO of its intention to utilize the standard mitigation via letter dated July 22, 2025 (Huck to Krupicz) and the ACHP via their e106 filing system. The SHPO responded via email on August 29, 2025 and stated that they would not have time to complete their review due to staff shortages and instructed NNSA/NFO to move onto the next steps in the NNSS PA (De Antoni to Gallo). NNSA/NFO completed the standard mitigation herein accordingly.

Appendix D.I outlines standard mitigation for contributing elements in historic districts, such as the four buildings proposed for demolition. The mitigation consists of an updated Architectural Resource Assessment (ARA) form to document current conditions (Appendix D.I.A), including high-quality digital images (Appendix D.I.A.1) and plans, drawings, or annotated sketch plans (Appendix D.I.A.2), and a brief letter report describing mitigation contents and summarizing the building's historic significance (Appendix D.I.B).

This mitigation package documents the completion of mitigation for the four buildings in accordance with NNSS PA Appendix D. An ARA Update form was prepared for each building to satisfy NNSS PA Appendix D.I.A (see Attachment A). The forms include additional information about the historic properties, individual NRHP evaluations, and interior descriptions, engineering drawings, and current photographs. This letter report fulfills NNSS PA Appendix D.I.B.

HISTORIC PROPERTIES DESCRIPTION

The historic properties for which adverse effects are being mitigated are Buildings 12-32 (B18291), 12-34 (B18292), 12-35 (B18293), and 12-37 (B18294), including their accessory resources (AR). These four properties are all prefabricated dormitories and are contributing elements to the Area 12 Camp Historic District. They are summarized in Table 1. Narrative descriptions follow the table.

Table 1. Historic properties.

SHPO Resource No.	NNSS Identifier	Resource Type/Name	NRHP Status
B18291	Dormitory 12-32	Prefabricated metal building	Contributing element to the Area 12 Camp Historic District.
AR1	NA	Waste compactor foundation	Contributing accessory to B18291.
AR2	NA	Electrical transformer	Contributing accessory to B18291.
AR3	NA	Fire protection system valve upright	Contributing accessory to B18291.
B18292	Dormitory 12-34	Prefabricated metal building	Contributing element to the Area 12 Camp Historic District.
AR1	NA	Fire protection system valve upright	Contributing accessory to B18292.
B18293	Dormitory 12-35	Prefabricated metal building	Contributing element to the Area 12 Camp Historic District.
AR1	NA	Electrical transformer	Contributing accessory to B18293.
AR2	NA	Fire protection system valve upright	Contributing accessory to B18293.
AR3	NA	Fire protection system valve upright	Contributing accessory to B18293.
B18294	Dormitory 12-37	Prefabricated metal building	Contributing element to the Area 12 Camp Historic District.

B18291 / Building 12-32

This building was constructed in 1989 and is a long and narrow building (301 ft. × 31 ft.) built in the style of a motel with outside access to all rooms (Figure 1). It is made of prefabricated metal on a thickened slab-on-grade concrete foundation. The siding is pale yellow corrugated metal and the doors are flush gray steel. The windows are a horizontal fixed pane with gray steel surrounds and an in-wall mounted heater/air conditioner beneath each window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. This primary resource has three accessory resources: a waste compactor foundation (AR1), an electrical transformer (AR2), and a fire protection system valve upright (AR3). There has been no change to the exterior of the building since its initial recording in March 2020.

The interior space is defined by identical suites of a single bedroom with an attached bathroom. There is a total of 44 such suites, 22 on the east side of the building and 22 on the west side. There is also one ADA-accessible suite at the south end of the west elevation. The interior of each bedroom contains one double bed, a wooden desk and chair, a full-sized wooden wardrobe, and a low wooden chest of drawers. The bathrooms contain a toilet, corner shower, and a sink with a mirror. There are several differences in the ADA-accessible suite compared to the standard suite. While the bedroom is exactly the same, it is somewhat larger to accommodate a wheelchair. The bathroom is also somewhat larger. The sink and toilet are separated from the shower by a partial wall. The toilet has metal handrails attached to the wall, and the shower has metal handrails and a built-in seat.

The north and south halves of the building are divided by a public laundry room and a mechanical room, which oppose each other, one opening to the east and one to the west, respectively. The laundry room still contains several washers and dryers, a slate-gray metal cabinet, and wire shelving. The mechanical room has a full-sized breaker box and electrical panel, hot water heaters, a water main, and a fire control valve. In addition, the suite just south of the laundry room appears to have served as a janitorial breakroom.



Figure 1: Building 12-32, overview of the east and north elevations (DRI 2531_1602, 2025).

B18292 / Building 12-34

This building was constructed in 1987 and is a long and narrow building (301 ft. × 31 ft.) built in the style of a motel with outside access to all rooms (Figure 2). It is made of prefabricated metal on a thickened slab-on-grade concrete foundation. The siding is pale yellow corrugated metal and the doors are flush gray steel. The windows are a horizontal fixed pane with gray steel surrounds and an in-wall mounted heater/air conditioner beneath each window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. This primary resource has one accessory resource, a fire protection system valve upright (AR1). There has been no change to the exterior of the building since its initial recording in March 2020.

The interior space is defined by identical suites of a single bedroom with an attached bathroom. There is a total of 46 such suites, 23 on the east side of the building and 23 on the west side. The interior of each bedroom contains a single bed, a wooden desk and chair, a full-sized wooden wardrobe, and a low wooden chest of drawers. The bathrooms contain a toilet, corner shower, and a sink with a mirror.

The north and south halves of the building are divided by a public laundry room and a mechanical room, which oppose each other, one opening to the east and one to the west, respectively. The laundry room formerly contained several washers and dryers, along with moveable wire shelving. The mechanical room has a full-sized breaker box, hot water heaters, a water main, and a fire protection control valve.



Figure 2: Building 12-34, overview of the west and south elevations (DRI 2531_1595, 2025).

B18293 / Building 12-35

This building was constructed in 1986 and is a long and narrow building (301 ft. × 31 ft.) built in the style of a motel with outside access to all rooms (Figure 3). It is made of prefabricated metal on a thickened slab-on-grade concrete foundation. The siding is pale yellow corrugated metal and the doors are flush gray steel. The windows are a horizontal fixed pane with gray steel surrounds and an in-wall mounted heater/air conditioner beneath each window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. This primary resource has three accessory resources: an electrical transformer box (AR1) and two fire protection system valve uprights (AR2-AR3). There has been no change to the exterior of the building since its initial recording in March 2020.

The interior space is defined by identical suites of a single bedroom with an attached bathroom. There is a total of 46 such suites, 23 on the east side of the building and 23 on the west side. The interior of each bedroom contains a single bed, a wooden desk and chair, a full-sized wooden wardrobe, and a low wooden chest of drawers. The bathrooms contain a toilet, corner shower, and a sink with a mirror.

The north and south halves of the building are divided by a public laundry room and a mechanical room, which oppose each other, one opening to the east and one to the west, respectively. The laundry room formerly contained several washers and dryers, along with metal shelving, but these have all been removed. The mechanical room has a full-sized breaker box, hot water heaters, a water main, and a fire protection control valve.



Figure 3: Building 12-35, overview of the west and south elevations (DRI 2531_1592, 2025).

B18294 / Building 12-37

This building was constructed in 1989 and is a long and narrow building (301 ft. × 31 ft.) built in the style of a motel with outside access to all rooms (Figure 4). It is made of prefabricated metal on a thickened slab-on-grade concrete foundation. The siding is pale yellow corrugated metal and the doors are flush gray steel. The windows are a horizontal fixed pane with gray steel surrounds and an in-wall mounted heater/air conditioner beneath each window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. There has been no change to the exterior condition of the building since its initial recording in March 2020.

The interior space is defined by identical suites of a single bedroom with an attached bathroom. There is a total of 46 such suites, 23 on the east side of the building and 23 on the west side. The interior of each bedroom contains a double bed, a wooden desk and chair, a full-sized wooden wardrobe, and a low wooden chest of drawers. The bathrooms contain a toilet, corner shower, and a sink with a mirror.

The north and south halves of the building are divided by a public laundry room and a mechanical room, which oppose each other, one opening to the east and one to the west, respectively. The laundry room formerly contained several washers and dryers, along with metal shelving, but these have all been removed. The mechanical room has a full-sized breaker box, hot water heaters, a water main, and a fire protection control valve.



Figure 4: Building 12-37, overview of the east and north elevations (DRI 2531_1600, 2025).

SIGNIFICANCE SUMMARY

All four dormitory buildings have been determined to be contributing elements to the Area 12 Camp Historic District (Reed 2021; Reno et al. 2021). Each of them contributes to the significance of the Area 12 Camp Historic District under Criterion A because they performed an essential support role for nuclear testing activities in the northern portion of the NNSS during the final years of the Cold War period, from 1986 to 1992. Indeed, these buildings were the first permanent housing built in Area 12. They also contribute to the significance of the Area 12 Camp Historic District under Criterion C because there are only a small number of contributing elements that remain from the period of significance. All four dormitories are highly visible elements that formed part of the distinctive design and construction of the district. The buildings and their immediate surroundings retain all aspects of integrity and they easily convey their significance as motel-style housing that supported underground testing operations (Reno et al. 2021).

None of these dormitory buildings are recommended eligible for listing in the NRHP as an individual resource. While they served a short but important role in the Area 12 Camp Historic District, an archival and literature review did not reveal any evidence that they had significant and direct associations with the broad patterns of history. They simply provided housing for personnel. They are not connected to any specific nuclear test or series of tests or for any specific scientific development on the NNSS (Criterion A). While many people spent time in the rooms, none of the buildings appear to be directly or importantly associated with the lives of persons significant in our past (Criterion B). As prefabricated metal buildings, the dormitories are not architecturally significant or unique; they do not represent the works of a master; nor do they express high artistic values (Criterion C). Finally, the buildings themselves are unlikely to yield information that would be considered important to understanding the history of nuclear testing on the NNSS (Criterion D). Furthermore, as less than 50 years of age, they would need to meet Criteria Consideration G for possessing exceptional significance, which they do not.

REFERENCES

De Antoni, Georgie

2025 “RE: Demolition of Four Dormitories in Area 12 at the NNSS.” Email received by Patricia Gallo, National Nuclear Security Administration Nevada Field Office, August 29.

Huck, Betty

2025 “RE: Finding of Adverse Effect and Proposed Mitigation for the Demolition of Buildings 12-32, 12-34, 12-35, and 12-37 in Area 12 Camp, Nevada National Security Site, Nye County, Nevada.” Letter to Arthur Krupicz, Nevada SHPO, July 22.

Reed, Robin K.

2021 “Re: Section 106 Consultation for the Area 12 Camp Historic District Architectural Survey Report, Nevada National Security Site, Nye County, Nevada (AMMI:CES-2147; ADM:16.1.5.A; TR119) (UT2019-5780; 28189).” Letter received by Monica Sanchez, Acting Assistant Manager for Mission and Infrastructure, National Nuclear Security Administration, Nevada Field Office, June 1.

Reno, Ronald, Susan Edwards, Cheryl Collins, and Jeffrey Wedding

2021 *The Architecture of Area 12 Camp – Nevada’s Atomic Ghost Town: An Architectural Survey of Area 12 Camp, Nevada Nuclear Security Site, Nye County, Nevada*. Desert Research Institute Cultural Resources Technical Report No. 119. Desert Research Institute, Las Vegas.

PREPARERS’ QUALIFICATIONS

Gregory Haynes meets the Secretary of the Interior’s Professional Qualifications Standards for Archaeology. Dr. Haynes has been professionally involved in historic preservation and cultural resource management in the Great Basin, Mojave Desert, and the Southwest for over 35 years. He holds a Ph.D. in Anthropology from the University of Nevada, Reno (UNR). Dr. Haynes served as the primary author of this report and was involved in fieldwork, research, and analyses.

Laura O’Neill meets the Secretary of Interior’s Professional Qualifications Standards for Architectural History and Historic Architecture. She has been professionally involved in the field of historic preservation since 2006. She holds a Bachelor of Arts degree in Political Science from Lehigh University in Bethlehem, PA, and a Master of Architecture degree from California State Polytechnic University in Pomona, CA. Ms. O’Neill was responsible for managing the production of this report, including the fieldwork, research, and analyses

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ATTACHMENT A. ARA FORMS (Updates and Originals)

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Architectural Resource Assessment (ARA) Form – UPDATE

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date Update	March 23, 2020 April 17, 2025	Recorded By	Reno, Edwards, Wedding Haynes and Wedding	Agency Report #	TR 119 LR041725-1-MIT

The purpose of this update is to meet the mitigation requirements for an adverse effect to Building 12-32, SHPO Resource No. B18291, a contributing element to the Area 12 Camp Historic District (SHPO Resource No. D372) per the *Programmatic Agreement DE-GM58-22NA25554 Among the U.S. Department of Energy and the Nevada State Historic Preservation Officer and the Advisory Council on Historic Preservation Concerning the Protection of Historic Properties on the Nevada National Security Site, Nye County, Nevada* (NNSS PA). This form provides updates for the following:

- Added context to eligibility
- Individual NRHP eligibility
- Description of the interior with character-defining spaces identified
- Photos of the current condition and interior spaces of Building 12-32 with photograph log
- Engineering drawing: floor plan and elevations
- Current annotated layout of building floor plan

5. NRHP Evaluation -- Individual

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
	Not Eligible <input checked="" type="checkbox"/>	Unevaluated <input type="checkbox"/>		
Area(s) of Significance	Nuclear Testing, Townsite Development			
Period(s) of Significance	1989-1992			
Integrity – Does the resource possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Threats to Resource:	Demolition			
Historic Name	Dormitory 12-32			
Current/Common Name	Same			
Historic/Original Owner	U.S. Department of Energy			
Current Owner	Nevada National Security Administration Nevada Field Office (NNSA/NFO)			
Current Owner Address	Nevada National Security Site (NNS)			
Historic Building Use	Dormitory			
Current Building Use	Vacant			
Architect/Engineer/Designer	Holmes & Narver, Inc.			
Builder/Contractor	Unknown			

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

Building 12-32 has been determined to be a contributing element to the Area 12 Camp Historic District (Reed 2021; Reno et al. 2021). It contributes to the significance of the historic district under Criterion A because it performed an essential support role for nuclear testing activities in the northern portion of the NNS during the final years of the Cold War from 1989 and 1992. Indeed, it is one of five dormitory buildings that were the first permanent housing facilities built in Area 12, clearly indicating that at that time there was no end in sight to nuclear testing. It also contributes to the significance of the historic district under Criterion C because there are only a small number of contributing elements that remain from the period of significance. It is a highly visible element that forms part of the distinctive design and construction of the district.

The building and its immediate surroundings retain all aspects of integrity to a high degree and easily conveys its significance as motel-style housing that supported Area 12 Camp operations (Reno et al. 2021). An archival and literature review provided little information into the specific uses of 12-32 between 1989, when it was built, to the end of the nuclear testing period in 1992. This building is no longer used as originally intended and is currently vacant.

NRHP Eligibility

Building 12-32 is not recommended eligible for the NRHP as an individual resource under any Significance Criteria. Furthermore, as less than 50 years of age, it would need to meet Criteria Consideration G for possessing exceptional significance, which it does not.

Criterion A. To be eligible for the National Register under Criterion A, properties must be associated with events that have made a significant contribution to the broad patterns of our history. Tlachac (1991) in the “Nuclear Testing” context for the Nevada Comprehensive Preservation Plan indicates that resources associated with Cold War nuclear testing may be eligible for listing in the NRHP. The Cold War is an important event in the history of the U.S., as supported by a National Historic Landmarks Theme Study (Salmon 2022), and the NNSS, as the nation’s nuclear testing ground, played an important role in that history (Rhode et al. 2022). Regarding this criterion, 12-32 is associated with nuclear testing. While it is known that the building was used as a motel-style dormitory that provided housing for staff, it did not play a specific role for any given test or series of tests, nor did it have a relationship to any specific scientific developments. As such, Building 12-32 does not appear to be eligible under Criterion A.

Criterion B. Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past. While many people stayed overnight in Building 12-32, the building does not appear to be associated with any significant persons. Therefore, Building 12-32 is not recommended eligible for listing under Criterion B.

Criterion C. Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values. Properties may also be eligible under this criterion if they represent a significant and distinguishable entity whose components may lack individual distinction. Building 12-32 is one of a number of large, prefabricated metal buildings that once comprised Area 12 Camp and helps to convey the district’s overall permanent, utilitarian, military-industrial character. In addition, it is one of five nearly identical dormitory buildings of which each is composed of multiple bedroom and bathroom quarters, a public laundry room, and a mechanical room. It is not architecturally significant or unique, nor does it represent the work of a master or possess high artistic values. Building 12-32 is not recommended eligible under Criterion C.

Criterion D. Properties significant under Criterion D must have the potential to yield further information about human history that can only be answered by the actual physical material of the resources. There are two requirements for a resource to be found significant under Criterion D: the property must have or have had information to contribute to our understanding of human history or prehistory, and the information must be considered important. Building 12-32 has been subject to an archival and literature review on its role in nuclear testing on the NNSS. It is unlikely that the building itself could yield more information that would be considered important. Building 12-32 does not appear to be significant under Criterion D.

Integrity

Building 12-32 retains all seven aspects of integrity to varying degrees, although it is now vacant and no longer being used. It remains in its original location, retaining its original materials, design, and workmanship. Its integrity of setting, association, and feeling have been compromised because the Area 12 Camp Historic District is no longer used by the NNSS as a forward camp for nuclear weapons testing. Moreover, most of the buildings in the camp have been either demolished or abandoned since the end of nuclear testing in 1992.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

This dormitory was constructed in 1989 and is one in a series of five permanent dormitories built on the far northwestern block of Area 12 Camp. It is bounded by 7th Street to the north and Chena Street to the south with other dormitory buildings to its east and west. Dormitory 12-32 is long and narrow, 301-feet long by 31-feet wide, and built in the style of a motel with outside access to each of the guest rooms. The long east and west elevations are identical with a rhythm of door, window, window, door, door, window, window, and so on. The building is made of prefabricated corrugated metal on a thickened slab-on-grade concrete foundation. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to paved parking areas north and south of the building. Associated with the building are three accessory resources: a waste compactor foundation (AR1), an electrical transformer (AR2), and a fire protection system valve upright (AR3). There has been no change in the exterior condition of Building 12-32 since its initial recording in March 2020.

Interior Character-defining Spaces

The interior space is defined by identical suites of a single bedroom with an attached bathroom (see Holmes and Narver 1987, NNSA/NFO 2022). There is a total of 44 such suites, 22 on the east side of the building and 22 on the west side. The north and south halves of the building are divided by a public laundry room and a mechanical room, which oppose each other, one opening on the east side and one on the west side, respectively.

The bedrooms are square and measure 12 ft. 6 in. per side. The floor is covered by indoor-outdoor carpet, except at the entrance or foyer which has a small square area covered in linoleum tile. The ceiling has hung, sound-dampening tiles. The interior of each room contains the following furniture: a double bed with a wooden headframe and metal mattress frame with casters; a wooden desk, chair and small lamp; a wooden wardrobe; and a low wooden chest of drawers.

The bathroom is directly behind each bedroom, toward the center of the building. All the bathrooms are composed of a nearly square room, 6 ft. 6 inches east-west by 6 ft. 3 inches north-south. The floor is tiled with linoleum and the ceiling is finished. Each bathroom contains a corner shower, toilet, and sink. Above the sink is a mirror and light fixture. In the ceiling is a heat lamp.

There is one exception to the above suite design. At the far south end of the west elevation is an ADA-accessible suite and both the bedroom and the bathroom are somewhat larger than the others. The bedroom measures 14 feet long and 13 feet wide and contains the same furniture as the other suites. The bathroom is 7 feet long and 13 feet wide. The sink and toilet are in the south portion of the bathroom and the shower is in the north portion; the toilet/sink and shower are separated by a partial wall. The toilet has metal handrails attached to the wall, and the shower has metal handrails and a built-in seat. The room opposing the ADA-accessible suite to the east is a janitorial room with a wall sink, wall heater, and space for a shower. This room currently contains cleaning equipment, hand tools and related supplies.

Separating the north and south half of the dormitory is a public laundry room and a mechanical room. The laundry room is on the east side of the building, whereas the mechanical room is on the west side. The laundry room contains washers along the back or west wall and dryers along the side or south wall. A sink is built into the southwest corner. A slate-gray metal cabinet, as well as moveable wire shelving remains in the room. In addition, the suite just south of the public laundry appears to have been used as a janitors' breakroom. The equipment room contains a full-size breaker box and electrical panel, hot water heaters, a water main, and a fire protection control valve. The equipment room ceiling is not finished and has exposed steel joists with insulation between the joists.

8. References

List references used to research and evaluate the individual property.

Holmes & Narver, Inc. (H&N)

1987 "Dormitory 12-32: Floor Plan, Elevs., & Sect". Engineering Drawing No. JS-012-32-A1, dated October 28.

NNSA/NFO, see U.S. Department of Energy

Reed, Robin K.

2021 "Re: Section 106 Consultation for the Area 12 Camp Historic District Architectural Survey Report, Nevada National Security Site, Nye County, Nevada (AMMI:CES-2147; ADM:16.1.5.A; TR119) (UT2019-5780; 28189)." Letter received by Monica Sanchez, Acting Assistant Manager for Mission and Infrastructure, National Nuclear Security Administration, Nevada Field Office, Las Vegas, June 1.

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2021 *The Architecture of Area 12 Camp – Nevada's Atomic Ghost Town: An Architectural Survey of Area 12 Camp, Nevada National Security Site, Nye County, Nevada* (Revision 2). Desert Research Institute Cultural Resources Technical Report No. 119. Desert Research Institute, Las Vegas.

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Salmon, John S.

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Tlachac, Eve M.

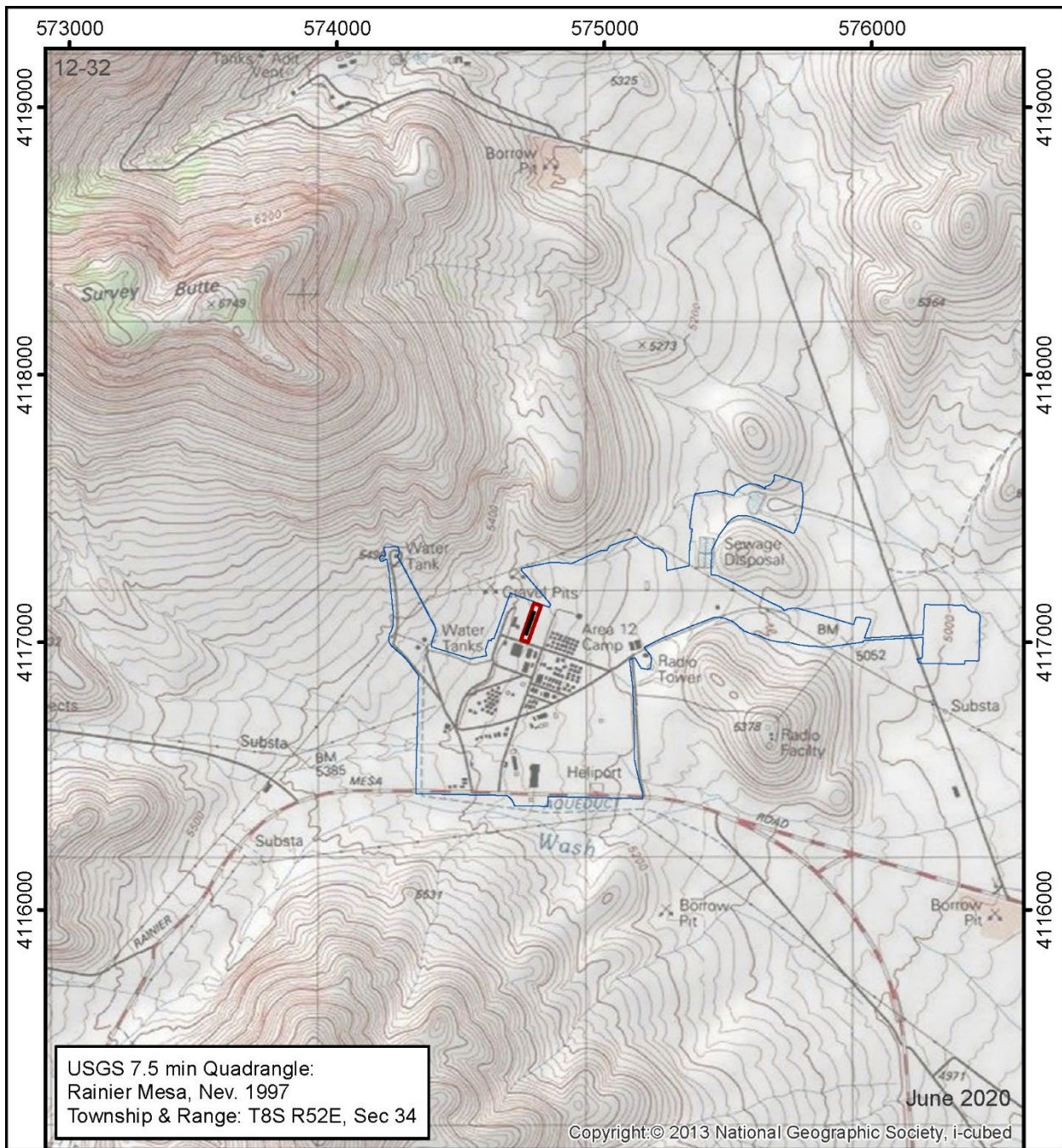
1991 Nuclear Testing. In *Nevada Comprehensive Preservation Plan*, edited by W. G. White, R. M. James, and R. Bernstein, pp. 25/13-25/24. Division of Historic Preservation and Archaeology, Department of Conservation and National Resources, Nevada Historical Society, Department of Museums and History, Carson City.




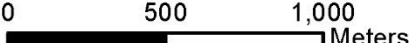
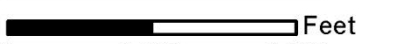


U.S. Department of Energy (NNSA/NFO)

2022 "Building 12-32, Space Management Plan". Nevada National Security Administration, Nevada Field Office, Las Vegas.

9. Area Location Map

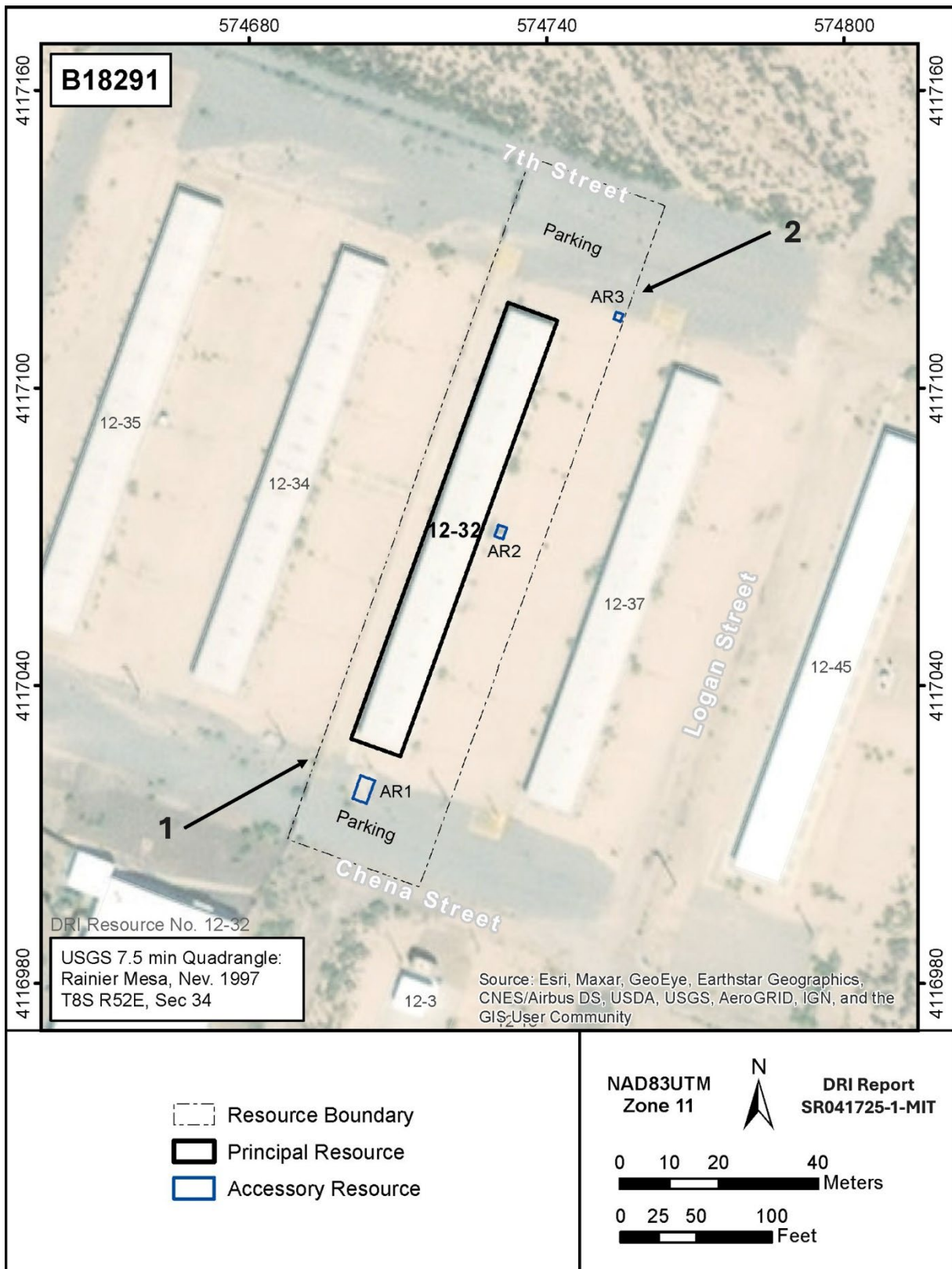
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18291 / Bldg. 12-32</p>	<p>Scale: 1:24,000</p>	<p>DRI Report SR041725-1-MIT</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83  Desert Research Institute </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.

Photo Log

Name of Property: Dormitory 12-32

City or Vicinity: Area 12 Camp

County: Nye

State: Nevada

Name of Photographer: Jeffrey Wedding

Date of Photographs: April 17, 2025

Location of Original Digital Files: Desert Research Institute, 755 E. Flamingo Road, Las Vegas, NV 89119

Exterior Photos (see Site Plan Map, page 6)
Photo 1, 2531_1596 Overview of the west and south elevations, camera facing northeast.
Photo 2, 2531_1602 Overview of the east and north elevations, camera facing southwest.
Interior Photos (see Building 12-32 Space Management Plan, page 25)
Photo 3, 2531_1552 Room 1, ADA-accessible bedroom interior, camera facing northeast.
Photo 4, 2531_1554 Room 1, ADA-accessible bedroom interior, camera facing west.
Photo 5, 2531_1555 Room 1, ADA-accessible bathroom interior with toilet and sink, camera facing northeast.
Photo 6, 2531_1557 Room 1, ADA-accessible bathroom interior, shower access, camera facing north-northeast.
Photo 7, 2531_1558 Room 1, ADA-accessible bathroom shower interior, camera facing east-northeast.
Photo 8, 2531_1559 Room 1, ADA-accessible bathroom shower interior, detail.
Photo 9, 2531_1560 Room 1, bathroom heater lamp switch panel, detail.
Photo 10, 2531_1562 Room 48, janitor storage room interior, sink and cabinet, camera facing west.
Photo 11, 2531_1564 Room 48, janitor storage room interior, camera facing northwest.
Photo 12, 2531_1565 Room 48, janitor storage room interior, unfinished ceiling with light fixture, joists, and insulation, detail.
Photo 13, 2531_1566 Room 47, standard bedroom interior, camera facing southwest.
Photo 14, 2531_1567 Room 47, standard bedroom interior, camera facing east.

Photo 15, 2531_1569 Room 47, standard bathroom interior, camera facing west.
Photo 16, 2531_1570 Room 37, janitor breakroom interior, camera facing southwest.
Photo 17, 2531_1571 Room 37, janitor breakroom interior, camera facing east-southeast.
Photo 18, 2531_1573 Room 36, public laundry room interior, washing machines, sink, and slate-gray cabinet, camera facing west.
Photo 19, 2531_1574 Room 36, public laundry room interior with dryers, air-conditioner, and wire shelving, camera facing east.
Photo 20, 2531_1610 Room 13, mechanical/equipment room interior, breaker box, camera facing east.
Photo 21, 2531_1611 Room 13, mechanical/equipment room interior, fire control valve, detail.
Photo 22, 2531_1612 Room 13, mechanical/equipment room interior, water heaters and electrical panel, camera facing north.



DRI Photo 1: 2531_1596. Overview of the west and south elevations.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 2: 2531_1602. Overview of the east and north elevations.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 3: 2531_1552. Room 1, ADA-accessible bedroom interior.
Elevation: NA Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 4: 2531_1554. Room 1, ADA-accessible bedroom interior.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 5: 2531_1555. Room 1, ADA-accessible bathroom interior with toilet and sink.
Elevation: NA Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 6: 2531_1557. Room 1, ADA-accessible bathroom interior, shower access.
Elevation: NA Direction facing: North-Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 7: 2531_1558. Room 1, ADA-accessible bathroom, shower interior.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 8: 2531_1559. Room 1, ADA-accessible bathroom, shower interior.
Elevation: NA **Direction facing: Detail** **Photographer: DRI** **Date: April 17, 2025**



DRI Photo 9: 2531_1560. Room 1, ADA-accessible bathroom, heater lamp switch.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 10: 2531_1562. Room 48, janitor storage room interior, sink and cabinet.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 11: 2531_1564. Room 48, janitor storage room interior.
Elevation: NA **Direction facing: Northwest** **Photographer: DRI** **Date: April 17, 2025**



DRI Photo 12: 2531_1565. Room 48, Janitor storage room interior, unfinished ceiling with light fixture, joists, and insulation.
Elevation: NA **Direction facing: Detail** **Photographer: DRI** **Date: April 17, 2025**



DRI Photo 13: 2531_1566. Room 47, standard bedroom interior.
Elevation: NA Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 14: 2531_1567. Room 47, standard bedroom interior.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



DRI Photo 15: 2531_1569. Room 47, standard bathroom interior.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 16: 2531_1570. Room 37, janitor breakroom interior.
Elevation: NA Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 17: 2531_1571. Room 37, janitor breakroom interior.
Elevation: NA Direction facing: East-Southeast Photographer: DRI Date: April 17, 2025



DRI Photo 18: 2531_1573. Room 36, public laundry room interior, washing machines, sink, and cabinet.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 19: 2531_1574. Room 36, public laundry room interior, dryers, air-conditioner, and wire shelving.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



DRI Photo 20: 2531_1610. Room 13, mechanical/equipment room interior, breaker box.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



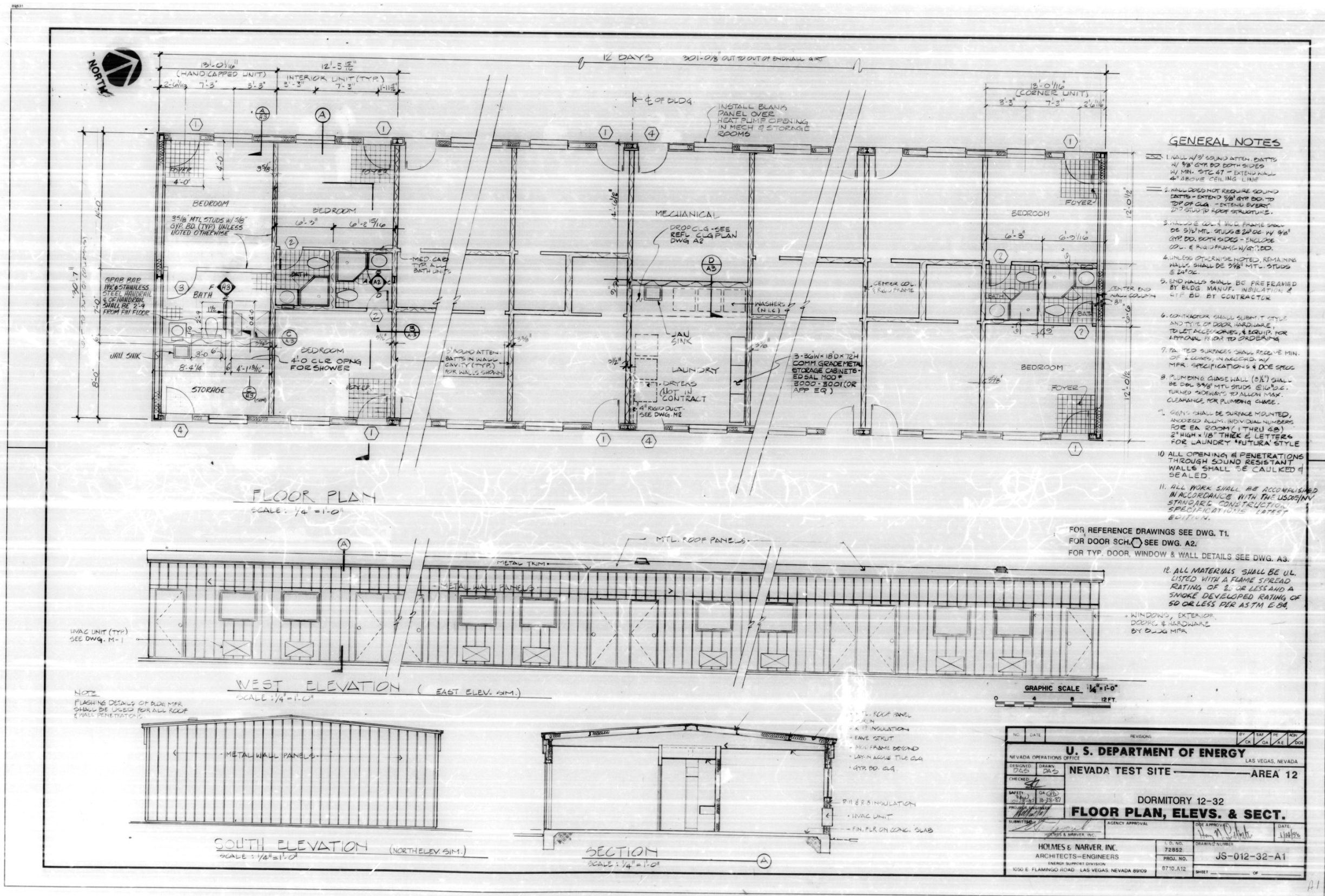
DRI Photo 21: 2531_1611. Room 13, mechanical/equipment room interior, fire control valve.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 22: 2531_1612. Room 13, mechanical/equipment room interior, water heaters and electrical panel.
Elevation: NA Direction facing: North Photographer: DRI Date: April 17, 2025

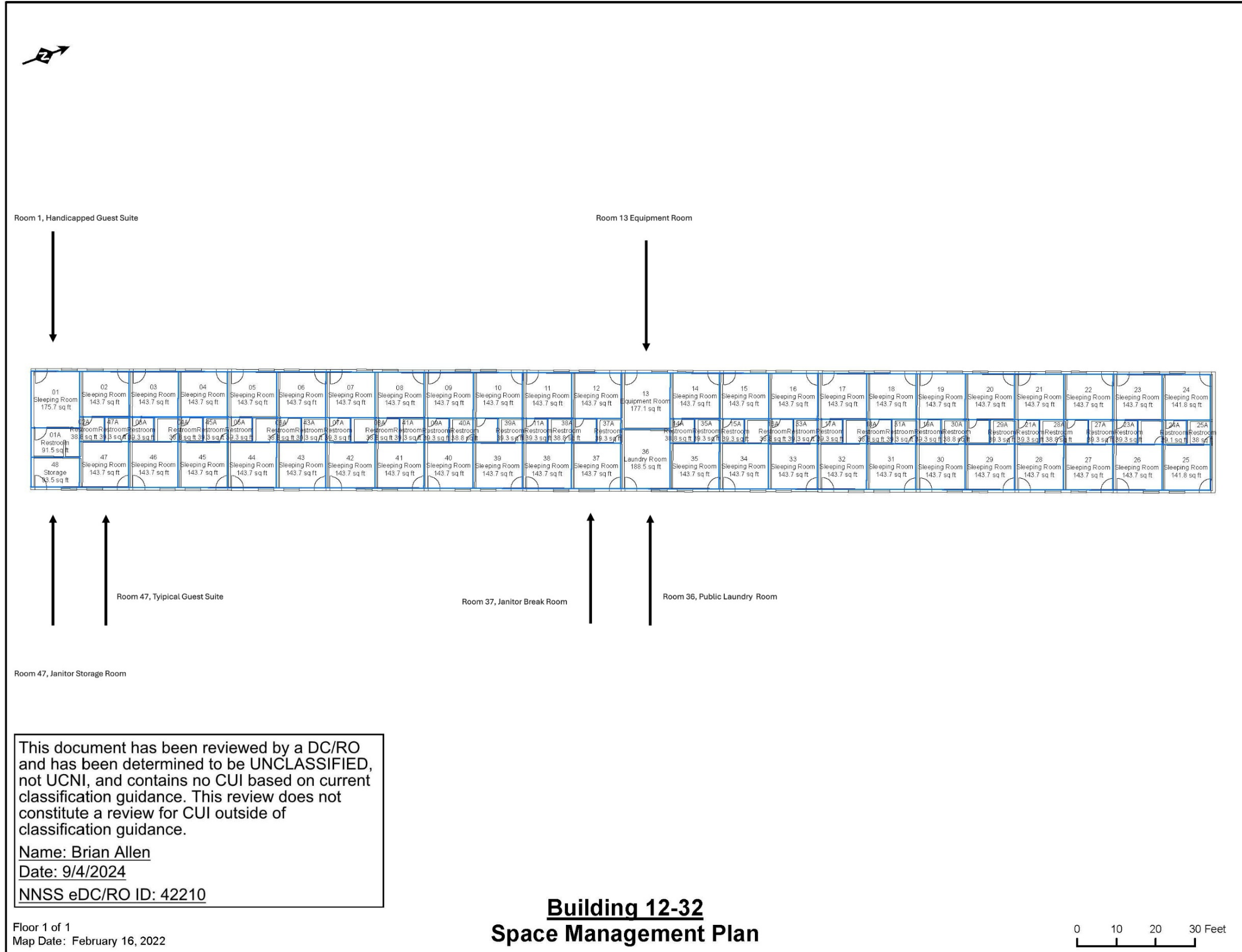
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12. Engineering Drawings



Dormitory 12-32 Building Procurement from Holmes & Narver engineering drawing JS-012-32-A1, dated October 28, 1987.

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This document has been reviewed by a DC/RO and has been determined to be UNCLASSIFIED, not UCNI, and contains no CUI based on current classification guidance. This review does not constitute a review for CUI outside of classification guidance.
 Name: Brian Allen
 Date: 9/4/2024
 NNSS eDC/RO ID: 42210

Building 12-32
Space Management Plan

Floor 1 of 1
 Map Date: February 16, 2022

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NEVADA
**STATE HISTORIC
 PRESERVATION OFFICE**

Architectural Resource Assessment (ARA) Form

For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
Survey Date	March 23, 2020	Recorded By
	Reno, Edwards, Wedding	Agency Report #
		TR 119

1. Property Type

Building <input checked="" type="checkbox"/>	Structure <input type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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2. Property Overview and Location

Street Address	NNSS Area 12 Camp		
City, Zip			
County	Nye		
Assessor's Parcel #	N/A	Subdivision Name	N/A
UTM Location (NAD 83, UTM Zone 11 North)	Easting: 574721		Northing: 4117071
USGS Info	Township: 8S	Range: 52E	Section: 34
	USGS 7.5' Quad & Date: Rainier Mesa, Nev. 1997		
Ownership	Private <input type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>
		Restricted-Federal <input checked="" type="checkbox"/>	Multiple <input type="checkbox"/>
Should the property's location be kept confidential?	Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>

3. Architectural Information

(Insert primary photograph below.)

Construction Date	1989
Architectural Style	Prefabricated
Architectural Type	Metal
Roof Form	Gable
Roof Materials	Metal
Exterior Wall Materials	Metal
Foundation Materials	Concrete
Window Materials	Metal
Window Type	Fixed
Accessory Resources?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
	Number?: 3



B18291 overview, view northeast.
 Photo: DSC_4610, DRI March 2020.

Condition of Resource(s)?	
Good <input checked="" type="checkbox"/>	Fair <input type="checkbox"/> Poor <input type="checkbox"/>
Explanation: Maintained in standby status.	

4. Existing Listing & Potential District

Is the property listed in the National Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Date Listed:
				NRIS #:
Contributing to a listed historic district?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	NRIS #:
			Name:	
			Date listed:	
If no, is there a potential district?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If so, is this resource contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
District Name: NNSS Area 12 Camp Historic District			SHPO #: D372	

5. NRHP Evaluation

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>		
	Not Eligible <input type="checkbox"/>	Unevaluated <input checked="" type="checkbox"/>				
Area(s) of Significance	Nuclear Testing, Townsite Development					
Period(s) of Significance	1989-1992					
Integrity – Does the resource possess integrity in all or some of the 7 aspects?						
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): various		
Threats to Resource:	Redevelopment					
Historic Name	Dormitory 12-32					
Current/Common Name	Same					
Historic/Original Owner	U.S. Atomic Energy Commission					
Current Owner	U.S. Department of Energy Nevada National Security Administration Nevada Field Office					
Current Owner Address	Nevada National Security Site					
Historic Building Use	Dormitory					
Current Building Use	Vacant					
Architect/Engineer/Designer	Unknown Prefabrication Firm to specifications by Holmes & Narver (H&N)					
Builder/Contractor	Unknown					

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

For purposes of the present survey, the resources in Area 12 Camp were evaluated only as they relate to the Historic District as a contributing versus non-contributing element. It is the nature of most of the individual elements of the district that they would not be individually eligible, but rather that, in the aggregate, they combine to create the unique significance of the district as a whole, which is presently recommended eligible to the National Register under Criteria A and C and unevaluated under Criteria B and D as detailed in the District form.

Since so many elements of the district have already been lost, those remaining elements from the period of significance have more comparative importance than they would have had otherwise. They are now in many cases rare survivors of what were formerly fairly common property types at the camp. With this in mind, the requirements for being considered contributing elements to the district are fairly low. If a resource still retains visible elements which date to the period of significance, it is considered contributing to the significance of the district both for its historic importance in relation to nuclear testing under Criterion A and as a part of the distinctive design and construction of the district under Criterion C. The companion question asked was if that resource was to be removed would the district lose some of its overall significance. In nearly all cases there is sufficient integrity to answer this question in the affirmative.

Due to the extensive resource-level of research beyond the capabilities of the present survey required to make justifiable recommendations regarding individual eligibility, this resource remains unevaluated under the criteria at this time. It is anticipated that such enhanced recording and evaluation will occur in the future as redevelopment plans mature.

Dormitory 12-32 performed an essential support role for testing in the northern portion of the Nevada Test Site during the final years of the Cold War period. It and its neighboring dormitories were the first permanent housing built in Area 12, clearly indicating that at that time there was no end in sight to testing activities. It is a good example of its type and is in excellent condition. The building and its surroundings retain all aspects of integrity to a high degree. It is a major contributing element of the Area 12 Camp Historic District. Its Accessory Resources are very minor contributing elements.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

PRIMARY RESOURCE

This dormitory is part of a series of five permanent dormitories built on the most northwestern block of Area 12 Camp, bounded by Logan Street to the east and Chena Street to the south. The other two boundaries are determined by paved local access roads and parking lots for the housing complex. The northern perimeter road was called 7th Street. This lot was initially graded and some utilities installed in 1961 as part of a dense array of housing trailers. As it turned out, aerial photos show that housing trailers were never installed on this block even though they are depicted there on 1962 camp maps.

For the intended small housing trailers the lot was lightly bladed since the terracing required for the trailers was so minimal. In contrast, even though the permanent dormitories were built along contour they still required significant terrace construction. Although executed in phases, all terracing was done as part of a single plan with uniform distance between dormitories of 85 to 86 feet. Ample flat spaces were allowed around the dormitories for access and drainage between each. Unpaved areas are now somewhat overgrown, mainly with rabbitbrush.

An office trailer was installed in 1964 at the future location of this dormitory, surrounded by the infrastructure grid of the unbuilt trailer park which still covered the entire block. A second adjacent trailer was added in 1965. By October 1967, the new H&N Engineering Office (12-33) was built in the same place. This office, though quite large, appears to have been made by joining several trailers together. By 1975 the H&N office complex, which was definitely composed of linked trailers, was moved farther to the west at the future location of Dormitory 12-35.

Dormitory 12-32 is an extremely long and narrow building (301-feet by 31-feet) built in the style of a motel with outside access to all rooms instead of the traditional axial hallway. It is built of prefabricated metal on a thickened slab-on-grade concrete foundation. Siding is pale yellow corrugated metal. The long east and west walls are identical with a rhythm of door, window, window, door, door, window, window, and so on, ending with a single doorway. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. Rectangular surface-mounted lights and fire alarms are spread along the upper part of the walls.

End walls are blank except for centered fire extinguisher brackets. The side-gable roof has a very low pitch. It has a full-length gutter which constitutes the fascia and periodic downspouts.

There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. Parking areas are equipped with concrete tire stops. Decorative gravel has been placed between walkways and the building. Wood utility poles run along the edge of the parking area at the south side of the row of dormitories.

ACCESSORY RESOURCE(S)

AR1 WASTE COMPACTOR FOUNDATION

This is a 10-foot by 16-foot concrete slab with one steel reinforced edge and king bolts which served to mount the waste compactor. The waste compactor equipment has been removed.

AR2 TRANSFORMER

A metal housing for a 120/208 volt transformer is mounted on a concrete pad.

AR3 FIRE PROTECTION SYSTEM VALVE UPRIGHT

The fire protection system valve upright has a typical red cast iron housing with yellow bollards and large status readout. This unit serves Dormitory 12-37.

8. References

List references used to research and evaluate the individual property.

Area 12 Camp Engineering Records

Various. Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

Edgerton, Germeshausen, and Grier, Inc. (EG&G)

1979 Aerial Photograph of the Area 12 Camp c.1979 (Photographic Image No. NF1552). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

National Archives and Records Administration (NARA)

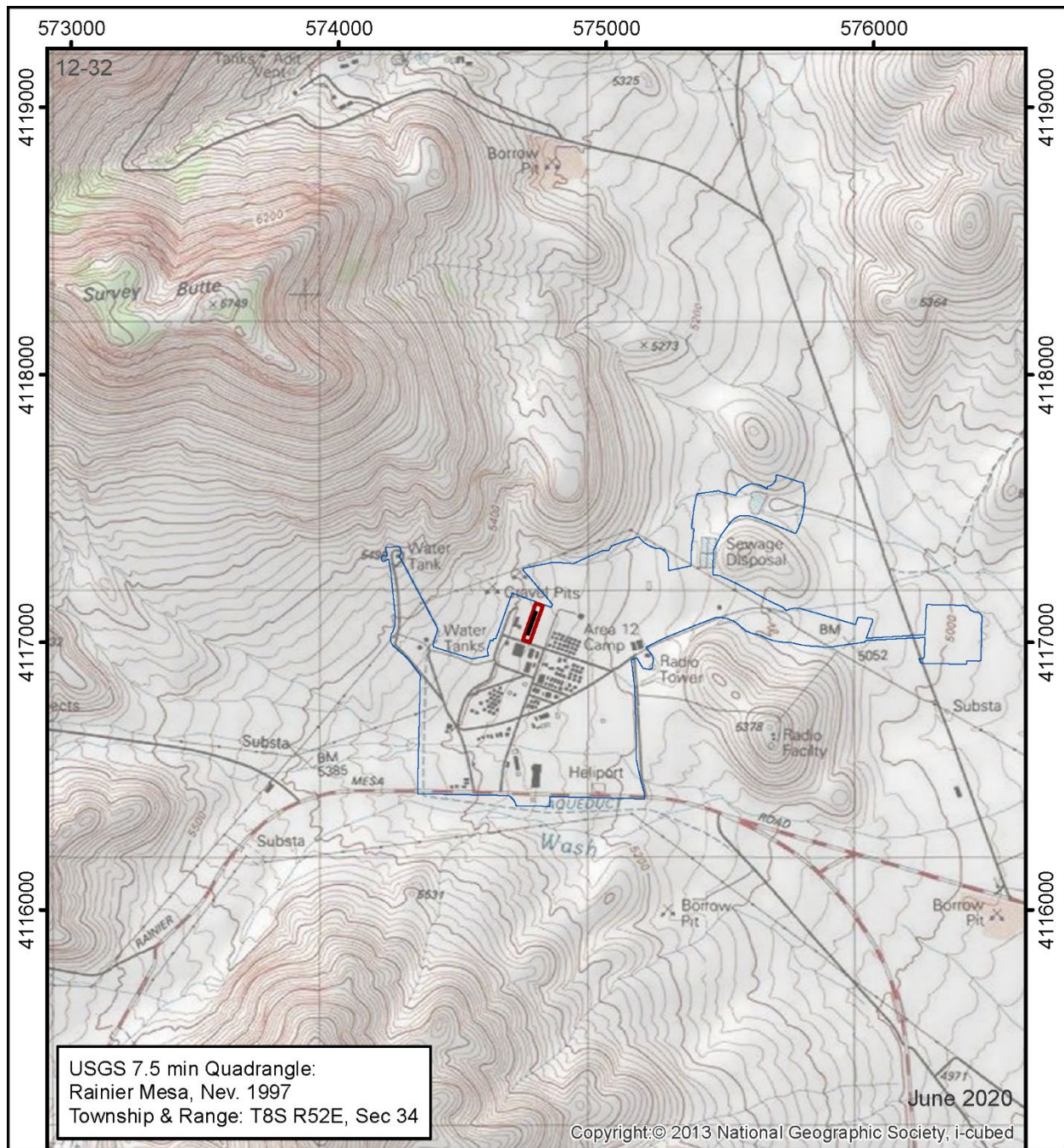
1991 "Saddle Mountain Project Aerials, Area 12." Series: Photographs Related to Nuclear Weapons Testing at the Nevada Test Site, 1/1972 - 12/2012, Record Group 434: General Records of the Department of Energy, 1915-2007. [Online version: <https://catalog.archives.gov/id/75491297>, National Archives and Records Administration, September 30, 2020].




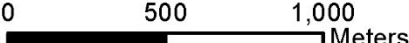
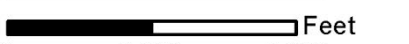


Reynolds Electrical and Engineering Co., Inc. (REECo)

1982 Photograph Album Index (1958-1976). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

9. Area Location Map

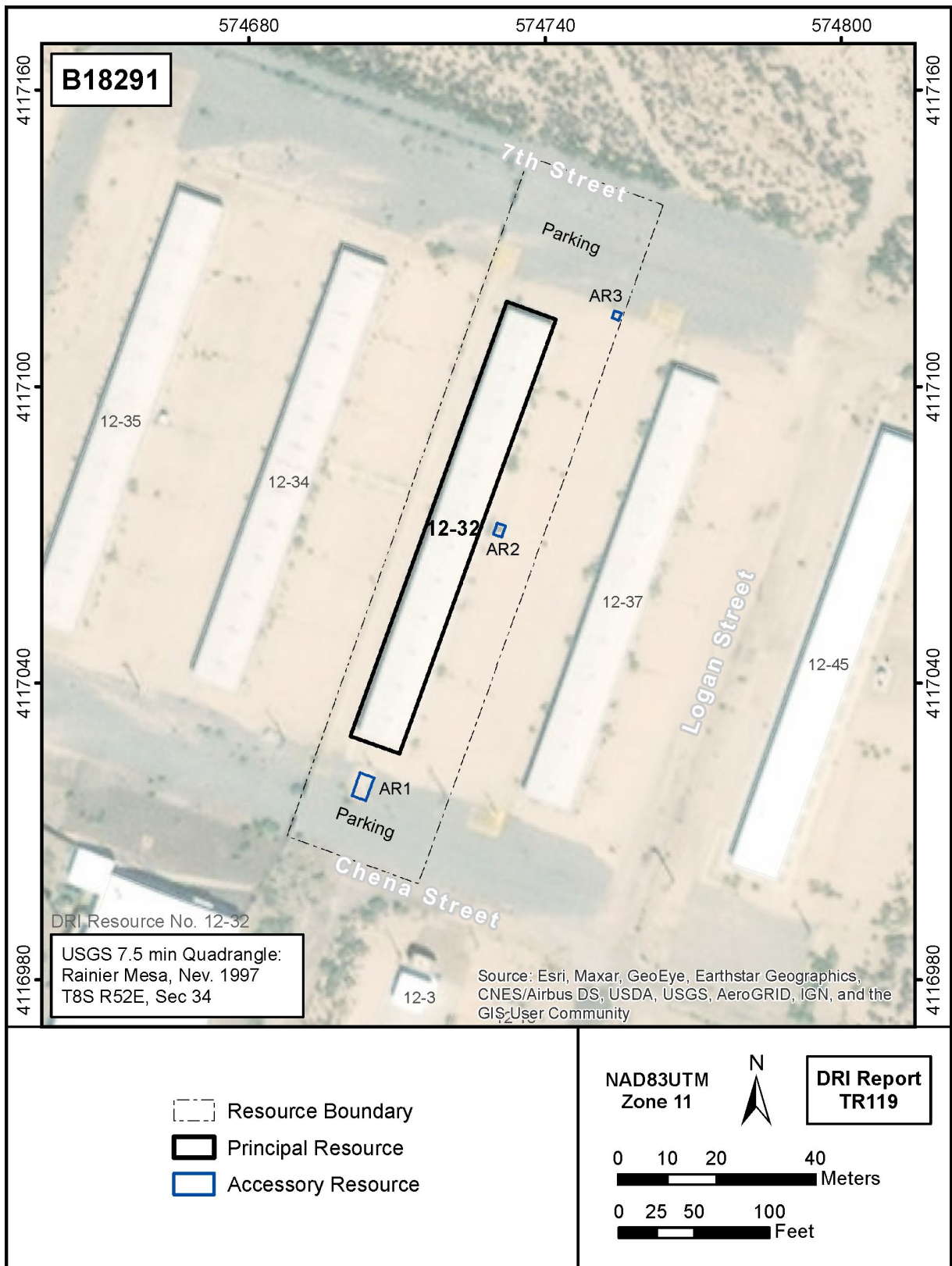
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18291</p>	<p>Scale: 1:24,000</p>	<p>DRI Report TR119</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83  </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.



DRI Photo: DSC_4610. Oblique view - west and south elevations.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4614. Oblique view - north and west elevations.
Elevation: North/West Direction facing: Southeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4616. North elevation.
Elevation: North Direction facing: South Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4618. Oblique view - east and north elevations.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4634. Oblique view - south and east elevations.
Elevation: South/East **Direction facing: Northwest**

Photographer: DRI **Date: March 23, 2020**

12. Accessory Resources

Complete only if Accessory Resources are present. Include as many extra entries as necessary.

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
-----------------------------------	---	---------------------------------	--

Accessory Resource Overview

Accessory Resource Name	AR1 Waste Compactor Foundations		
Construction Date	1992	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574703	Northing: 4117019	



DRI Photo: DSC_4608. AR1 Waste Compactor Foundations.

Elevation: N/A

Direction facing: North-Northeast

Photographer: DRI

Date: March 23, 2020

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
-----------------------------------	---	---------------------------------	--

Accessory Resource Overview

Accessory Resource Name	AR2 Transformer		
Construction Date	1989	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574730	Northing: 4117070	



DRI Photo: DSC_4636. AR2 Transformer.

Elevation: N/A

Direction facing: North

Photographer: DRI

Date: March 23, 2020

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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Accessory Resource Overview

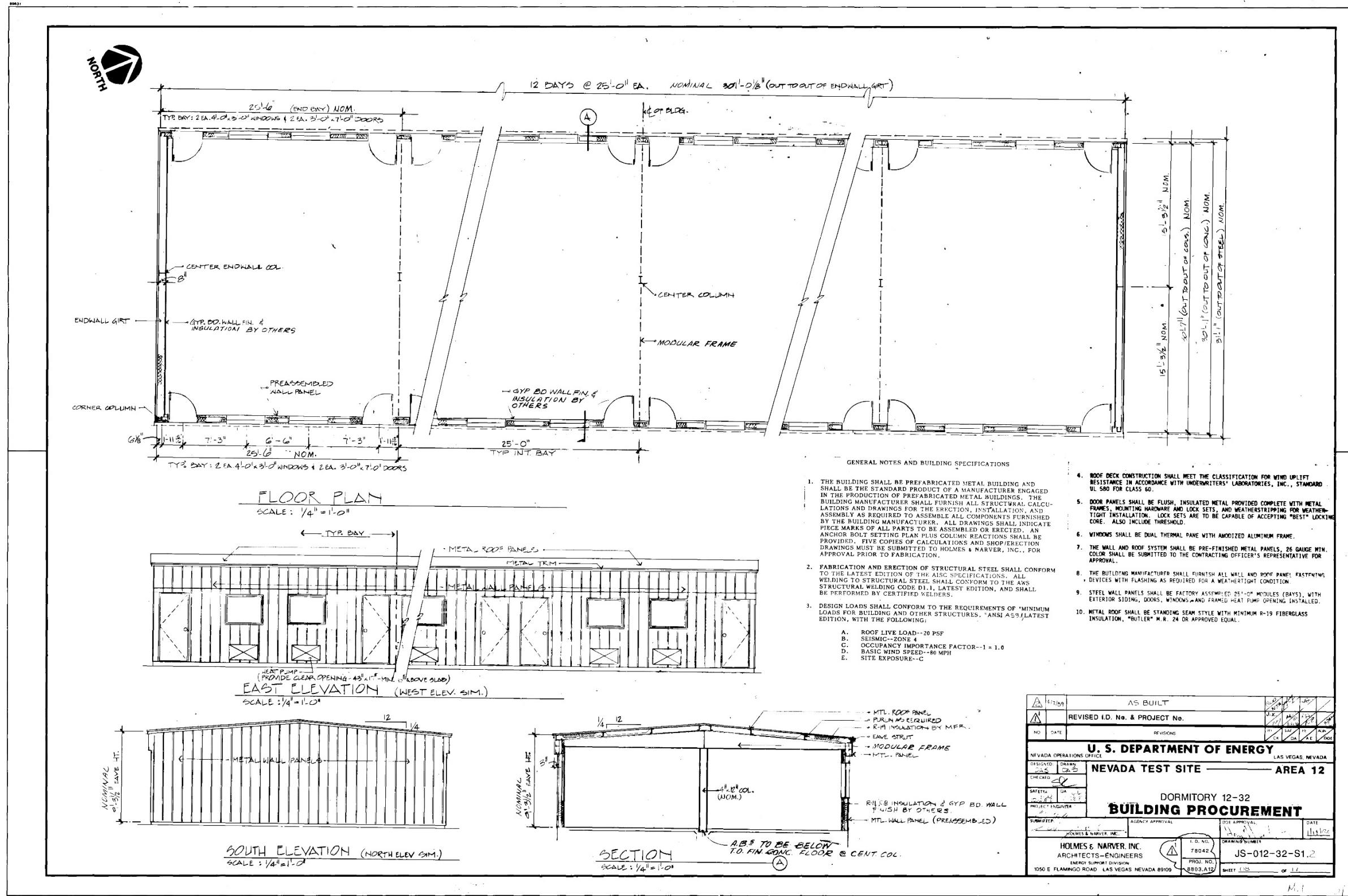
Accessory Resource Name	AR3 Fire Protection System Upright		
Construction Date	1989	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574754	Northing: 4117114	



DRI Photo: DSC_4620. AR3 Fire Protection System Upright.
Elevation: N/A Direction facing: South Photographer: DRI Date: March 23, 2020

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13. Engineering Drawings



Dormitory 12-32 Building Procurement from Holmes & Narver engineering drawing JS-012-32-S1.2, dated January 11, 1986.

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NEVADA
**STATE HISTORIC
 PRESERVATION OFFICE**

Architectural Resource Assessment (ARA) Form – UPDATE

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date Update	March 23, 2020 April 17, 2025	Recorded By	Reno, Edwards, Wedding Haynes and Wedding	Agency Report #	TR 119 LR041725-1-MIT

The purpose of this update is to meet the mitigation requirements for an adverse effect to Building 12-34, SHPO Resource No. B18292, a contributing element to the Area 12 Camp Historic District (SHPO Resource No. D372) per the *Programmatic Agreement DE-GM58-22NA25554 Among the U.S. Department of Energy and the Nevada State Historic Preservation Officer and the Advisory Council on Historic Preservation Concerning the Protection of Historic Properties on the Nevada National Security Site, Nye County, Nevada* (NNSS PA). This form provides updates for the following:

- Added context to eligibility
- Individual NRHP eligibility
- Description of the interior with character-defining spaces identified
- Photos of the current condition and interior of Building 12-34 with photograph log
- Engineering drawing: floor plan and elevations
- Current annotated layout of building floor plan

5. NRHP Evaluation -- Individual

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
	Not Eligible <input checked="" type="checkbox"/>	Unevaluated <input type="checkbox"/>		
Area(s) of Significance	Nuclear Testing, Townsite Development			
Period(s) of Significance	1987-1992			
Integrity – Does the resource possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Threats to Resource:	Demolition			
Historic Name	Dormitory 12-34			
Current/Common Name	Same			
Historic/Original Owner	U.S. Department of Energy			
Current Owner	Nevada National Security Administration Nevada Field Office (NNSA/NFO)			
Current Owner Address	Nevada National Security Site (NNSS), Area 12, Nye County			
Historic Building Use	Dormitory			
Current Building Use	Vacant			
Architect/Engineer/Designer	Holmes & Narver, Inc.			
Builder/Contractor	Unknown			

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource’s eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

Building 12-34 has been determined to be a contributing element to the Area 12 Camp Historic District (Reed 2021; Reno et al. 2021). It contributes to the significance of this historic district under Criterion A because it performed an essential support role for nuclear testing activities in the northern portion of the NNSS during the final years of the Cold War from 1987 and 1992. Indeed, it is one of five dormitory buildings that were the first permanent housing facilities built in Area 12, clearly indicating that at that time there was no end in sight to nuclear testing. It also contributes to the significance of the historic district under Criterion C because there are only a small number of contributing elements that remain from the period of significance. It is a highly visible element that forms part of the distinctive design and construction of the district.

The building and its immediate surroundings retain all aspects of integrity to a high degree and easily conveys its significance as motel-style housing that supported Area 12 Camp operations (Reno et al. 2021). An archival and literature review provided little information into the specific uses of 12-34 between 1987, when it was built, and the end of the nuclear testing period in 1992. This building is no longer used as originally intended and is currently vacant.

NRHP Eligibility

Building 12-34 is not recommended eligible for the NRHP as an individual resource under any Significance Criteria. Furthermore, as less than 50 years of age, it would need to meet Criteria Consideration G for possessing exceptional significance, which it does not.

Criterion A. To be eligible for the National Register under Criterion A, properties must be associated with events that have made a significant contribution to the broad patterns of our history. Tlachac (1991) in the “Nuclear Testing” context for the Nevada Comprehensive Preservation Plan states that resources associated with Cold War nuclear testing may be eligible for listing on the NRHP. The Cold War is an important event in the history of the U.S., as supported by a National Historic Landmarks Theme Study (Salmon 2022), and the NNSS played an important role in that history as the nation’s nuclear testing ground (Rhode et al. 2022). Regarding this criterion, 12-34 is generally associated with nuclear testing activities. While it is known that the building was used as a motel-style dormitory that provided short-term housing for staff, it did not play a specific role for any given test or series of tests, nor did it have a relationship to any specific scientific developments. As such, Building 12-34 does not appear to be eligible under Criterion A.

Criterion B. Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past. While many people stayed overnight in Building 12-34, the building does not appear to be associated with any significant persons. Therefore, Building 12-34 is not recommended eligible for listing under Criterion B.

Criterion C. Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values. Properties may also be eligible under this criterion if they represent a significant and distinguishable entity whose components may lack individual distinction. Building 12-34 is one of a number of large, prefabricated metal buildings that once comprised Area 12 Camp and helps to convey the district’s overall permanent, utilitarian, military-industrial character. In addition, it is one of five nearly identical dormitory buildings of which each is composed of multiple sleeping and restroom quarters, a public laundry room, and a mechanical room. It is not architecturally significant or unique, nor does it represent the work of a master. Building 12-34 is not recommended eligible under Criterion C.

Criterion D. Properties significant under Criterion D must have the potential to yield further information about human history that can only be answered by the actual physical material of the resources. There are two requirements for a resource to be found significant under Criterion D: the property must have or have had information to contribute to our understanding of human history or prehistory, and the information must be considered important. Building 12-34 has been subject to an archival and literature review on its role in nuclear testing on the NNSS. It is unlikely that the building itself could yield more information that would be considered important. Building 12-34 does not appear to be significant under Criterion D.

Integrity

Building 12-34 retains all seven aspects of integrity to varying degrees, although it is now vacant and no longer being used. It remains in its original location, retaining its original materials, design, and workmanship. Its integrity of setting, association, and feeling have been compromised because the Area 12 Camp Historic District is no longer used by the NNSS as a forward camp for nuclear weapons testing. Moreover, most of the buildings in the camp have been either demolished or abandoned since the end of nuclear testing in 1992.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

This dormitory was constructed in 1987 and is one in a series of five permanent dormitories built on the far northwestern block of Area 12 Camp. It is bounded by 7th Street to the north and Chena Street to the south with other comparable dormitory buildings to its east and west. Dormitory 12-34 is long and narrow, 301-feet long by 31-feet wide, and built in the style of a motel with outside access to each of the guest rooms. The long east and west elevations are identical with a rhythm of door, window, window, door, door, window, window, and so on. The building is made of prefabricated corrugated metal on a thickened slab-on-grade concrete foundation. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to paved parking areas north and south of the building. In addition, there are concrete steps and steel rails which lead east or down slope to Dormitory 12-32. Associated with the building is one accessory resource: a fire protection system valve upright (AR1). There has been no change in the exterior condition of Building 12-34 since its initial recording in March 2020.

Interior Character-defining Spaces

The interior space is defined by identical suites of bedrooms with attached bathrooms (see Holmes and Narver 1987, NNSA/NFO 2022). There is a total of 46 suites, 23 on the east side of the building and 23 on the west side. The north and south halves of the building are divided by a public laundry room and a mechanical/equipment room, which oppose each other, one opening on the east side and one on the west side, respectively.

The bedrooms are square and measure 12 ft. 6 in. per side. The floor is covered by indoor-outdoor carpet, except at the entrance or foyer which has a small square area covered in linoleum tile. The ceiling has hung, sound-dampening tiles. The interior of each room contained the following furniture: a single bed with a wooden headframe and metal mattress frame with casters; a wooden desk, chair and small lamp; a wooden wardrobe; and a low wooden chest of drawers.

The bathroom is directly behind each bedroom, toward the center of the building. All the bathrooms are composed of a nearly square room, 6 ft. 6 inches east-west by 6 ft. 3 inches north-south. The floor is tiled with linoleum and the ceiling is finished. Each bathroom contains a corner shower, toilet, and sink. Above the sink is a mirror and light fixture. In the ceiling is a heat lamp.

Separating the north and south half of the dormitory is a public laundry room and a mechanical/equipment room. The laundry room is on the east side of the building, whereas the mechanical/equipment room is on the west side. Although currently empty, the laundry room contained washers along the back or west wall and dryers along the side or south wall. A sink is built into the southwest corner. The mechanical/equipment room contains a full-size breaker box, hot water heaters, and water valves. Its east wall exhibits some significant water damage. This room's ceiling is not finished and has exposed steel joists with insulation in between the joists.

8. References

List references used to research and evaluate the individual property.

Holmes & Narver, Inc. (H&N)

1987 "Dormitory 12-34: Floor Plan, Elevs., & Sect.". Engineering Drawing No. JS-012-34-A1.1, as built date June 12.

NNSA/NFO, see U.S. Department of Energy

Reed, Robin K.

2021 "Re: Section 106 Consultation for the Area 12 Camp Historic District Architectural Survey Report, Nevada National Security Site, Nye County, Nevada (AMMI:CES-2147; ADM:16.1.5.A; TR119) (UT2019-5780; 28189)." Letter received by Monica Sanchez, Acting Assistant Manager for Mission and Infrastructure, National Nuclear Security Administration, Nevada Field Office, Las Vegas, June 1.

Reno, Ronald, Susan Edwards, Cheryl Collins, and Jeffrey Wedding

2021 *The Architecture of Area 12 Camp – Nevada's Atomic Ghost Town: An Architectural Survey of Area 12 Camp, Nevada National Security Site, Nye County, Nevada* (Revision 2). Desert Research Institute Cultural Resources Technical Report No. 119. Desert Research Institute, Las Vegas.

Rhode, David, Maureen King, Susanne Rowe, Susan Edwards, and Harold Drollinger

2022 Appendix B: Historic Contexts and Research Questions. In *Cultural Resource Management Plan for the Nevada National Security Site, Nye County, Nevada* (Revision 2). U.S. Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas.

Salmon, John S.

2022 *Protecting America: Cold War Defensive Sites, A National Historic Landmarks Theme Study*. The National Historic Landmarks Program, U.S. Department of the Interior, Washington D.C.

Tlachac, Eve M.

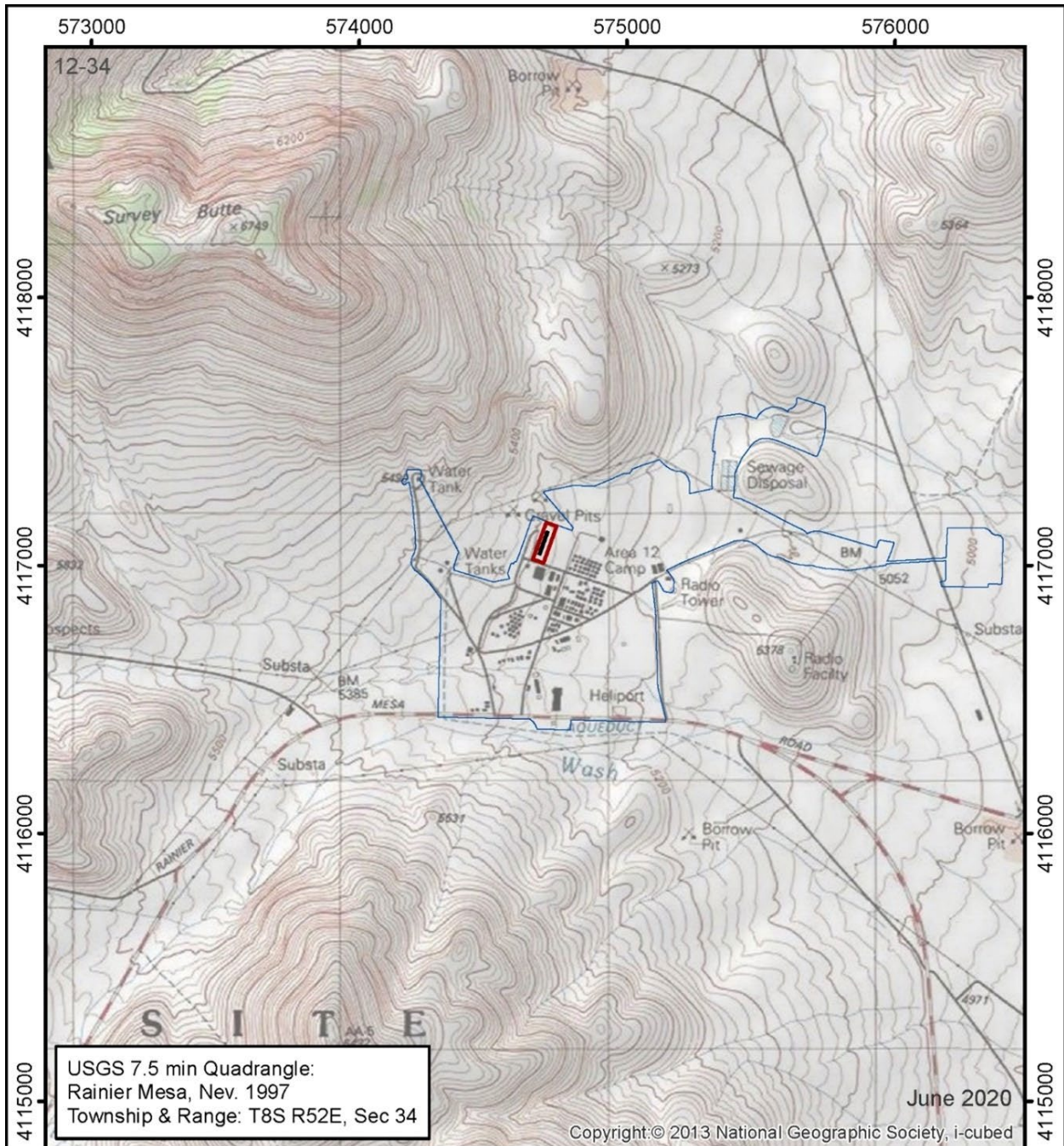
1991 Nuclear Testing. In *Nevada Comprehensive Preservation Plan*, edited by W. G. White, R. M. James, and R. Bernstein, pp. 25/13-25/24. Division of Historic Preservation and Archaeology, Department of Conservation and National Resources, Nevada Historical Society, Department of Museums and History, Carson City.





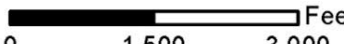


U.S. Department of Energy (NNSA/NFO)

2022 "Building 12-34, Space Management Plan". Nevada National Security Administration, Nevada Field Office, Las Vegas.

9. Area Location Map

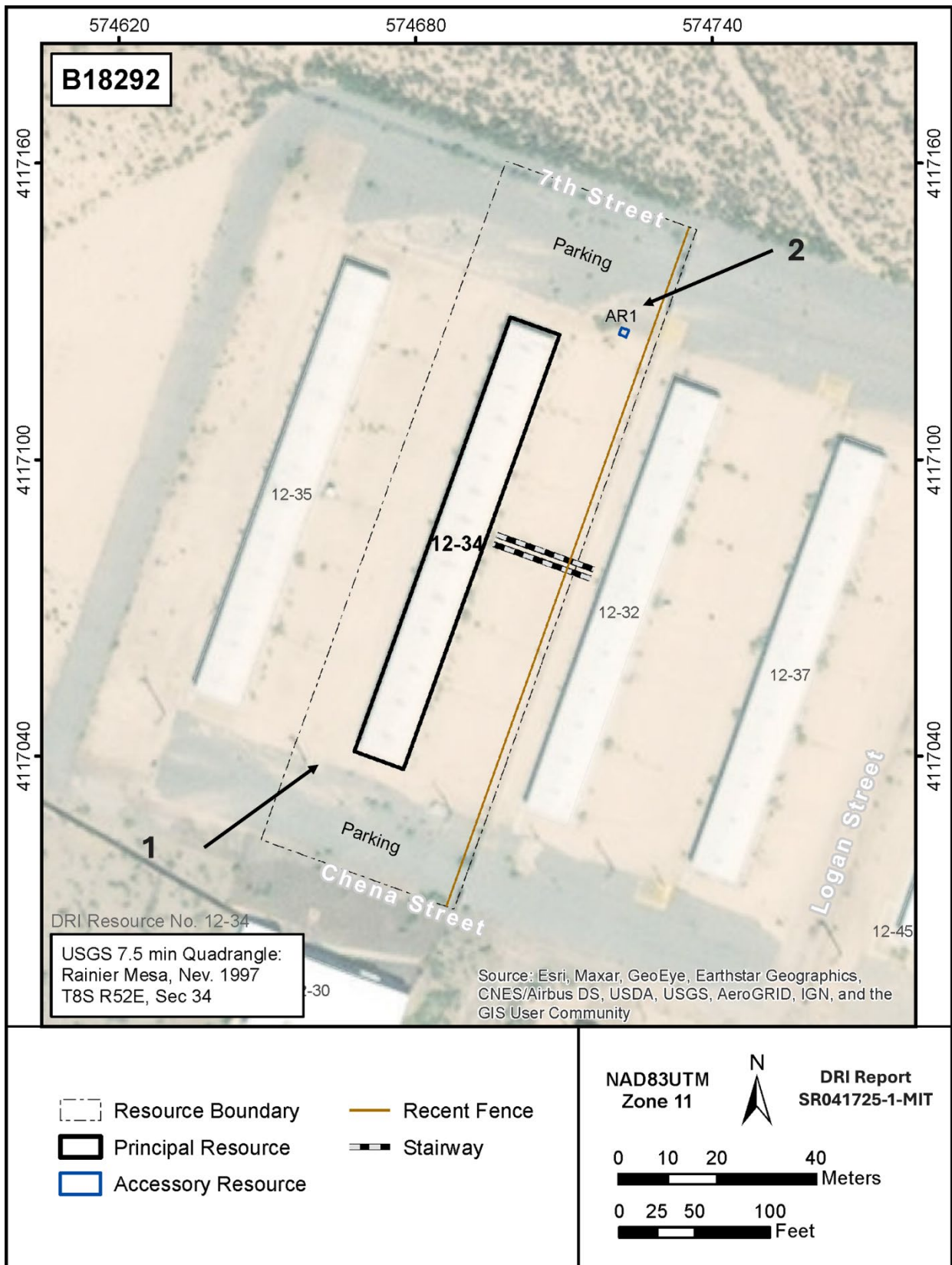
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18292 / Bldg. 12-34</p>	<p>Scale: 1:24,000</p>	<p>N</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p> 0 500 1,000  Meters 0 1,500 3,000  Feet </p>	<p>  DRI Report SR041725-1-MIT  UTM Coordinate Zone 11 NAD83 Desert Research Institute </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.

Photo Log

Name of Property: Dormitory 12-34

City or Vicinity: Area 12 Camp

County: Nye

State: Nevada

Name of Photographer: Jeffrey Wedding

Date of Photographs: April 17, 2025

Location of Original Digital Files: Desert Research Institute, 755 E. Flamingo Road, Las Vegas, NV 89119

Exterior Photos (see Site Plan Map, page 6)
Photo 1, 2531_1595 Overview of the west and south elevations, current condition, camera facing northeast.
Photo 2, 2531_1605 Overview of the east and north elevations, current condition, camera facing southwest.
Interior Photos (see Building 12-34 Space Management Plan, page 17)
Photo 3, 2531_1578 Room 46, standard bedroom interior, camera facing northwest.
Photo 4, 2531_1579 Room 46, standard bedroom interior, camera facing southeast.
Photo 5, 2531_1580 Room 46, standard bathroom interior, camera facing west.
Photo 6, 2531_1581 Room 47, public laundry room interior, camera facing west-northwest.
Photo 7, 2531_1582 Room 47, public laundry room interior, camera facing east.
Photo 8, 2531_1583 Room 47, public laundry room interior, dryer vent detail, camera facing south.
Photo 9, 2531_1616 Room 48, mechanical/equipment room interior, hot water heaters and damaged east wall, camera facing northeast.
Photo 10, 2531_1617 Room 48, mechanical/equipment room interior, breaker box, camera facing east.
Photo 11, 2531_1618 Room 48, mechanical/equipment room interior, hot water heaters and water main, camera facing northwest.
Photo 12, 2531_1619 Room 48, mechanical/equipment room interior, wall heater detail, camera facing east.



DRI Photo 1: 2531_1595. Overview of the west and south elevations, current condition.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 2: 2531_1605. Overview of the east and north elevations, current condition.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 3: 2531_1578. Room 46, standard bedroom interior.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 4: 2531_1579. Room 46, standard bedroom interior.
Elevation: NA Direction facing: Southeast Photographer: DRI Date: April 17, 2025



DRI Photo 5: 2531_1580. Room 46, standard bathroom interior.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 6: 2531_1581. Room 47, public laundry room interior.
Elevation: NA Direction facing: West-Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 7: 2531_1582. Room 47, public laundry room interior.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



DRI Photo 8: 2531_1583. Room 47, public laundry room, dryer vent detail.
Elevation: NA Direction facing: South Photographer: DRI Date: April 17, 2025



DRI Photo 9: 2531_1616. Room 48, mechanical/equipment room interior, hot water heaters and damaged east wall.
Elevation: NA Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 10: 2531_1617. Room 48, mechanical/equipment room interior, breaker box.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



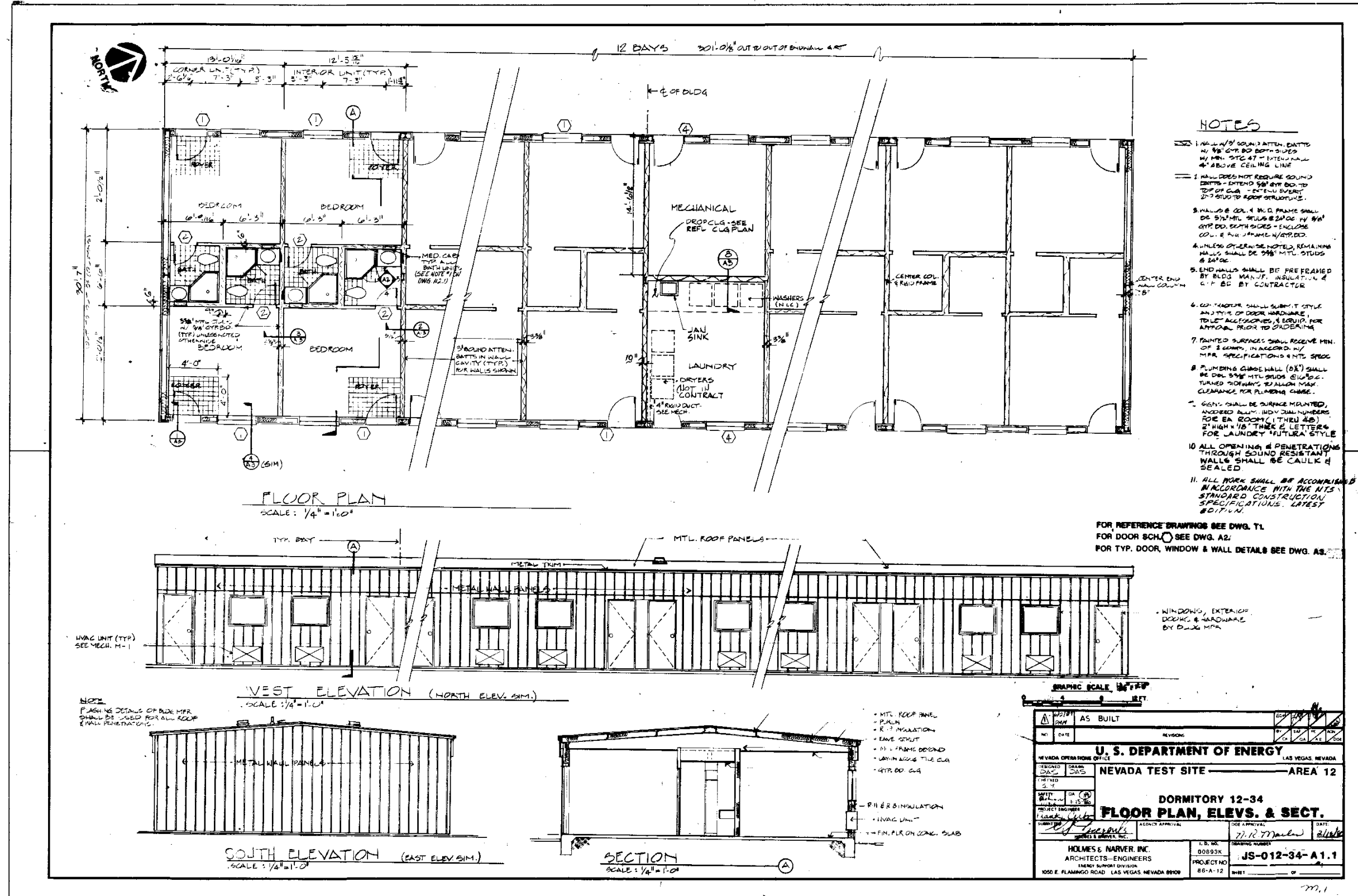
DRI Photo 11: 2531_1618. Room 48, mechanical/equipment room interior, hot water heaters and water main.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 12: 2531_1619. Room 48, mechanical/equipment room interior, wall heater detail.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025

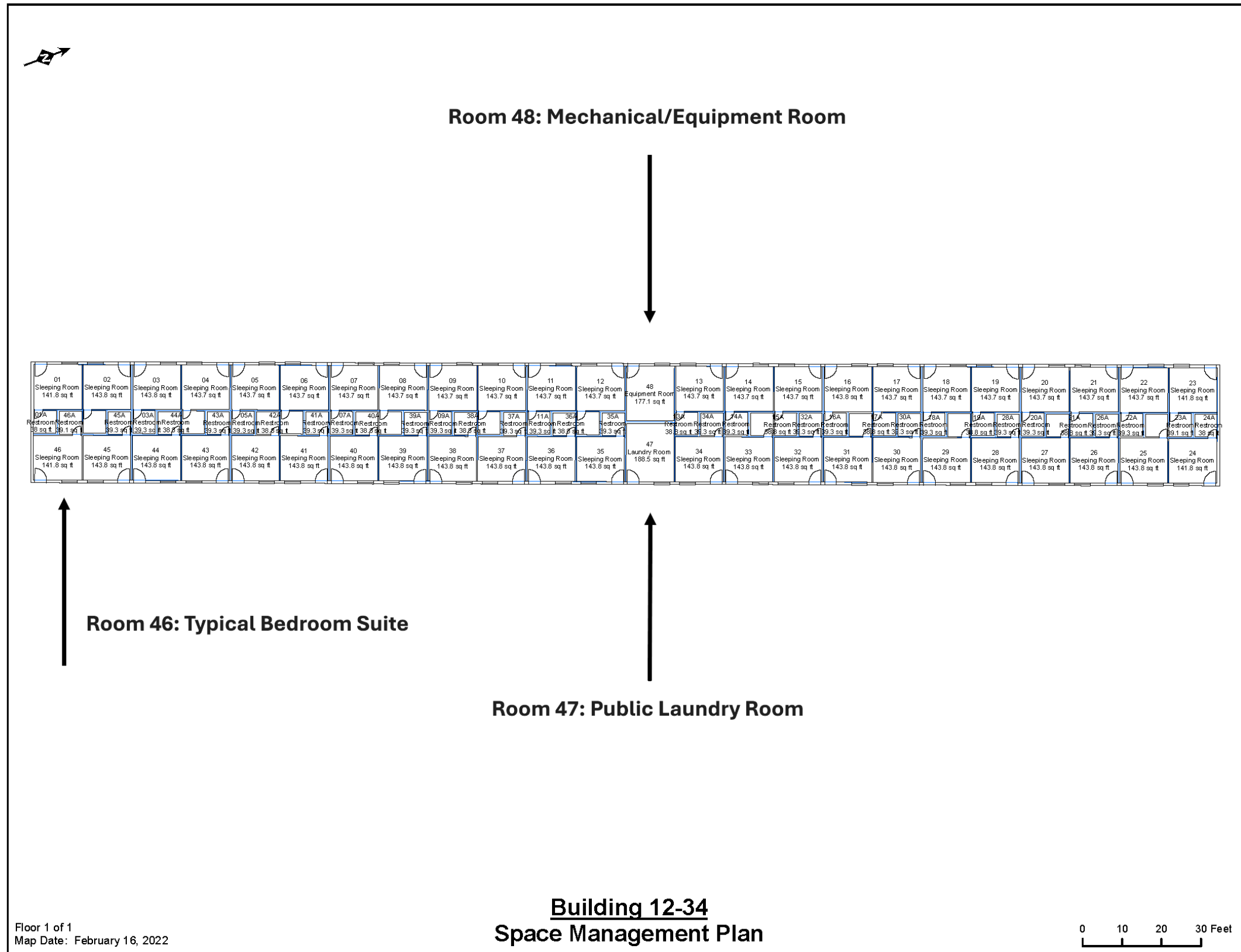
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12. Engineering Drawings



Dormitory 12-34 Building Procurement from Holmes & Narver engineering drawing JS-012-34-A1.1, as built dated June 2, 1987.

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NEVADA
**STATE HISTORIC
 PRESERVATION OFFICE**

Architectural Resource Assessment (ARA) Form

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date	March 23, 2020	Recorded By	Reno, Edwards, Wedding	Agency Report #	TR 119

1. Property Type

Building <input checked="" type="checkbox"/>	Structure <input type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
--	------------------------------------	---------------------------------	--

2. Property Overview and Location

Street Address		NNSS Area 12 Camp			
City, Zip					
County		Nye			
Assessor's Parcel #		N/A		Subdivision Name	
				N/A	
UTM Location (NAD 83, UTM Zone 11 North)			Easting: 574688		Northing: 4117083
USGS Info	Township: 8S	Range: 52E	Section: 34	USGS 7.5' Quad & Date: Rainier Mesa, Nev. 1997	
Ownership	Private <input type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Restricted-Federal <input checked="" type="checkbox"/>	Multiple <input type="checkbox"/>
Should the property's location be kept confidential?			Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>

3. Architectural Information

(Insert primary photograph below.)

Construction Date	1987		
Architectural Style	Prefabricated		
Architectural Type	Metal		
Roof Form	Gable		
Roof Materials	Metal		
Exterior Wall Materials	Metal		
Foundation Materials	Concrete		
Window Materials	Metal		
Window Type	Fixed		
Accessory Resources?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
	Number?: 1		



B18292 overview, view northeast.
 Photo: DSC_4650, DRI March 2020.

Condition of Resource(s)?			
Good <input checked="" type="checkbox"/>	Fair <input type="checkbox"/>	Poor <input type="checkbox"/>	
Explanation: Maintained in standby status.			

4. Existing Listing & Potential District

Is the property listed in the National Register?		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Date Listed:
					NRIS #:
Contributing to a listed historic district?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Name:	NRIS #:
				Date listed:	
If no, is there a potential district?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If so, is this resource contributing?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
District Name: NNSS Area 12 Camp Historic District				SHPO #: D372	

5. NRHP Evaluation

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
	Not Eligible <input type="checkbox"/>	Unevaluated <input checked="" type="checkbox"/>		
Area(s) of Significance	Nuclear Testing, Townsite Development			
Period(s) of Significance	1987-1992			
Integrity – Does the resource possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): various
Threats to Resource:	Redevelopment			
Historic Name	Dormitory 12-34			
Current/Common Name	Same			
Historic/Original Owner	U.S. Atomic Energy Commission			
Current Owner	U.S. Department of Energy Nevada National Security Administration Nevada Field Office			
Current Owner Address	Nevada National Security Site			
Historic Building Use	Dormitory			
Current Building Use	Vacant			
Architect/Engineer/Designer	Unknown Prefabrication Firm to specifications by Holmes & Narver (H&N)			
Builder/Contractor	Unknown			

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

For purposes of the present survey, the resources in Area 12 Camp were evaluated only as they relate to the Historic District as a contributing versus non-contributing element. It is the nature of most of the individual elements of the district that they would not be individually eligible, but rather that, in the aggregate, they combine to create the unique significance of the district as a whole, which is presently recommended eligible to the National Register under Criteria A and C and unevaluated under Criteria B and D as detailed in the District form.

Since so many elements of the district have already been lost, those remaining elements from the period of significance have more comparative importance than they would have had otherwise. They are now in many cases rare survivors of what were formerly fairly common property types at the camp. With this in mind, the requirements for being considered contributing elements to the district are fairly low. If a resource still retains visible elements which date to the period of significance, it is considered contributing to the significance of the district both for its historic importance in relation to nuclear testing under Criterion A and as a part of the distinctive design and construction of the district under Criterion C. The companion question asked was if that resource was to be removed would the district lose some of its overall significance. In nearly all cases there is sufficient integrity to answer this question in the affirmative.

Due to the extensive resource-level of research beyond the capabilities of the present survey required to make justifiable recommendations regarding individual eligibility, this resource remains unevaluated under the criteria at this time. It is anticipated that such enhanced recording and evaluation will occur in the future as redevelopment plans mature.

Dormitory 12-34 performed an essential support role for testing in the northern portion of the Nevada Test Site during the final years of the Cold War period. It and its neighboring dormitories were the first permanent housing built in Area 12, clearly indicating that at that time there was no end in sight to testing activities. It is a good example of its type and is in excellent condition. The building and its surroundings retain all aspects of integrity to a high degree. It is a major contributing element of the Area 12 Camp Historic District. Its Accessory Resources are very minor contributing elements.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

PRIMARY RESOURCE

This dormitory is part of a series of five permanent dormitories built on the most northwestern block of Area 12 Camp, bounded by Logan Street to the east and Chena Street to the south. The other two boundaries are determined by paved local access roads and parking lots for the housing complex. The northern perimeter road was called 7th Street. This lot was initially graded and some utilities installed in 1961 as part of a dense array of housing trailers. As it turned out, aerial photos show that housing trailers were never installed on this block even though they are depicted there on 1962 camp maps.

For the intended small housing trailers the lot was lightly bladed since the terracing required for the trailers was so minimal. In contrast, even though the permanent dormitories were built along contour they still required significant terrace construction. Although executed in phases, all terracing was done as part of a single plan with uniform distance between dormitories of 85 to 86 feet. Ample flat spaces were allowed around the dormitories for access and drainage between each. Unpaved areas are now somewhat overgrown, mainly with rabbitbrush. Concrete steps and steel rail lead down the berm to Dormitory 12-32.

Dormitory 12-34 is an extremely long and narrow building (301 feet by 31 feet) built in the style of a motel with outside access to all rooms instead of the traditional axial hallway. It is built of prefabricated metal on a thickened slab-on-grade concrete foundation. Siding is pale yellow corrugated metal. The long east and west walls are identical with a rhythm of door, window, window, door, door, window, window, and so on, ending with a single doorway. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. Rectangular surface-mounted lights and fire alarms are spread along the upper part of the walls.

End walls are blank except for centered fire extinguisher brackets. The side-gable roof has a very low pitch. It has a full-length gutter which constitutes the fascia and periodic downspouts.

There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. Parking areas are equipped with concrete tire stops. A portable steel trailer step and landing structure is stored on the parking lot southeast of the building. Decorative gravel has been placed between walkways and the building. Wood utility poles run along the edge of the parking area at the south side of the row of dormitories.

ACCESSORY RESOURCE(S)

AR1 FIRE PROTECTION SYSTEM VALVE UPRIGHT

The fire protection system valve upright has a typical red cast iron housing with yellow bollards and large status readout. This unit serves Dormitory 12-32.

8. References

List references used to research and evaluate the individual property.

Area 12 Camp Engineering Records

Various. Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

Edgerton, Germeshausen, and Grier, Inc. (EG&G)

1979 Aerial Photograph of the Area 12 Camp c.1979 (Photographic Image No. NF1552). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

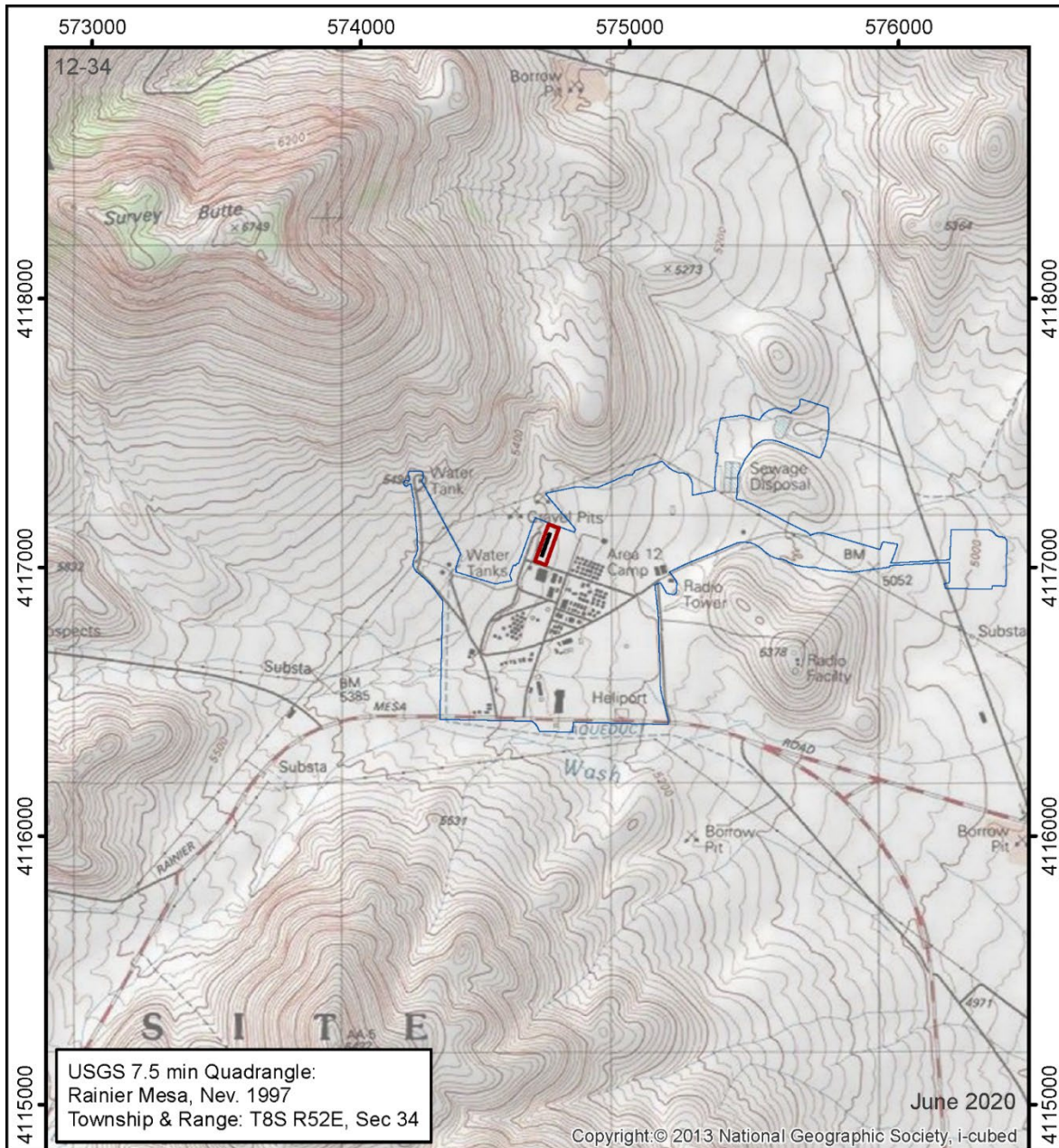
National Archives and Records Administration (NARA)

1991 "Saddle Mountain Project Aerials, Area 12." Series: Photographs Related to Nuclear Weapons Testing at the Nevada Test Site, 1/1972 - 12/2012, Record Group 434: General Records of the Department of Energy, 1915-2007. [Online version: <https://catalog.archives.gov/id/75491297>, National Archives and Records Administration, September 30, 2020].

Reynolds Electrical and Engineering Co., Inc. (REECo)
 1982 Photograph Album Index (1958-1976). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.



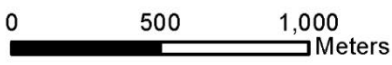
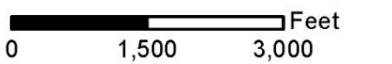
9. Area Location Map

Use a USGS quadrangle map at large extent to show general area of resource.



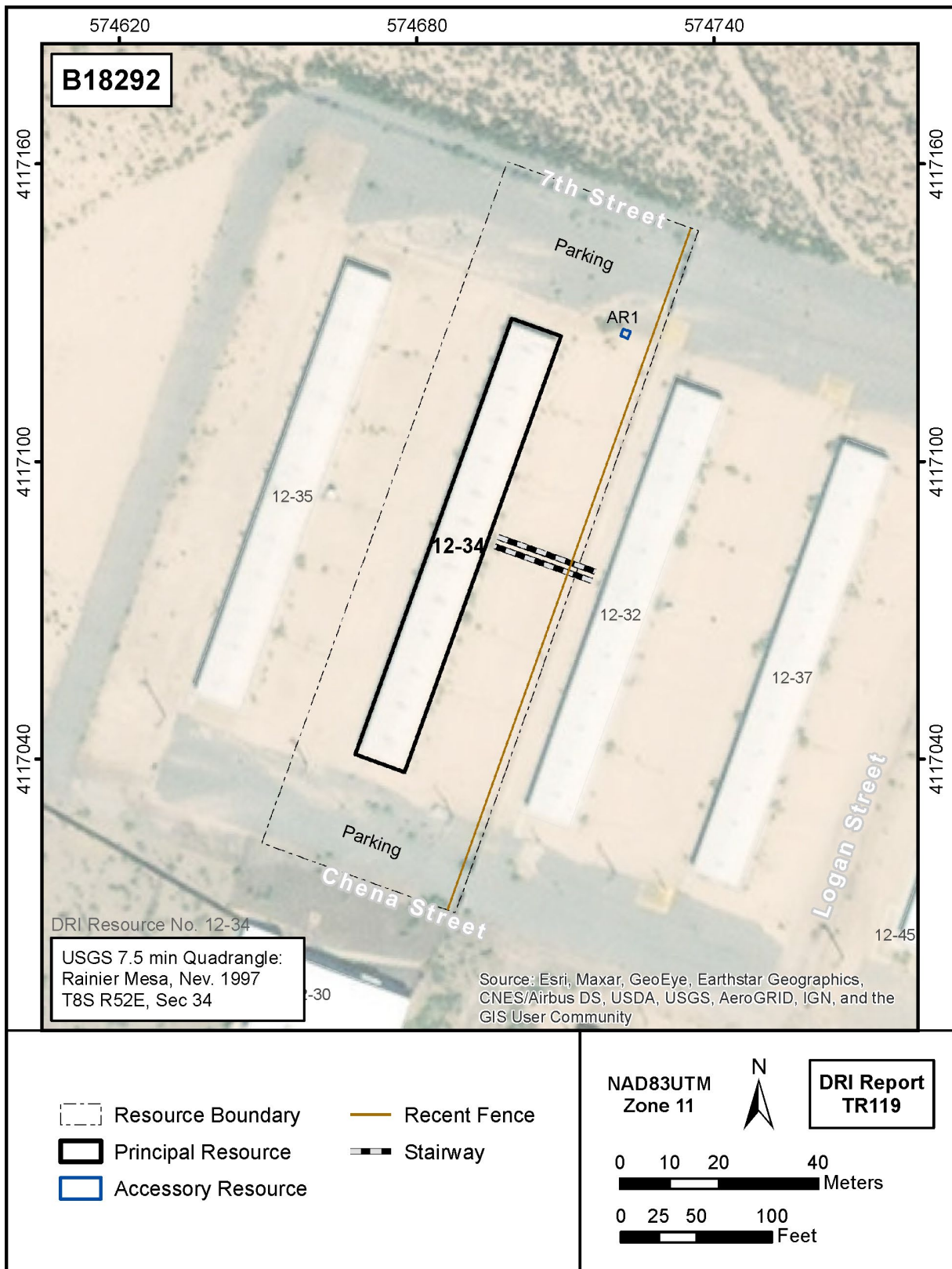
USGS 7.5 min Quadrangle:
 Rainier Mesa, Nev. 1997
 Township & Range: T8S R52E, Sec 34

June 2020
 Copyright: © 2013 National Geographic Society, i-cubed

B18292	Scale: 1:24,000	 UTM Coordinate Zone 11 NAD83	DRI Report TR119 
<ul style="list-style-type: none"> Principal Resource Resource Boundary District Boundary 	 Meters  Feet		

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.



DRI Photo: DSC_4650. Oblique view - west and south elevations.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4662. Oblique view - north and west elevations.
Elevation: North/West Direction facing: Southeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4664. North elevation.
Elevation: North Direction facing: South Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4666. Oblique view - east and north elevations.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4682. Oblique view - south and east elevations.
Elevation: South/East **Direction facing: Northwest**

Photographer: DRI **Date: March 23, 2020**

12. Accessory Resources

Complete only if Accessory Resources are present. Include as many extra entries as necessary.

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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Accessory Resource Overview

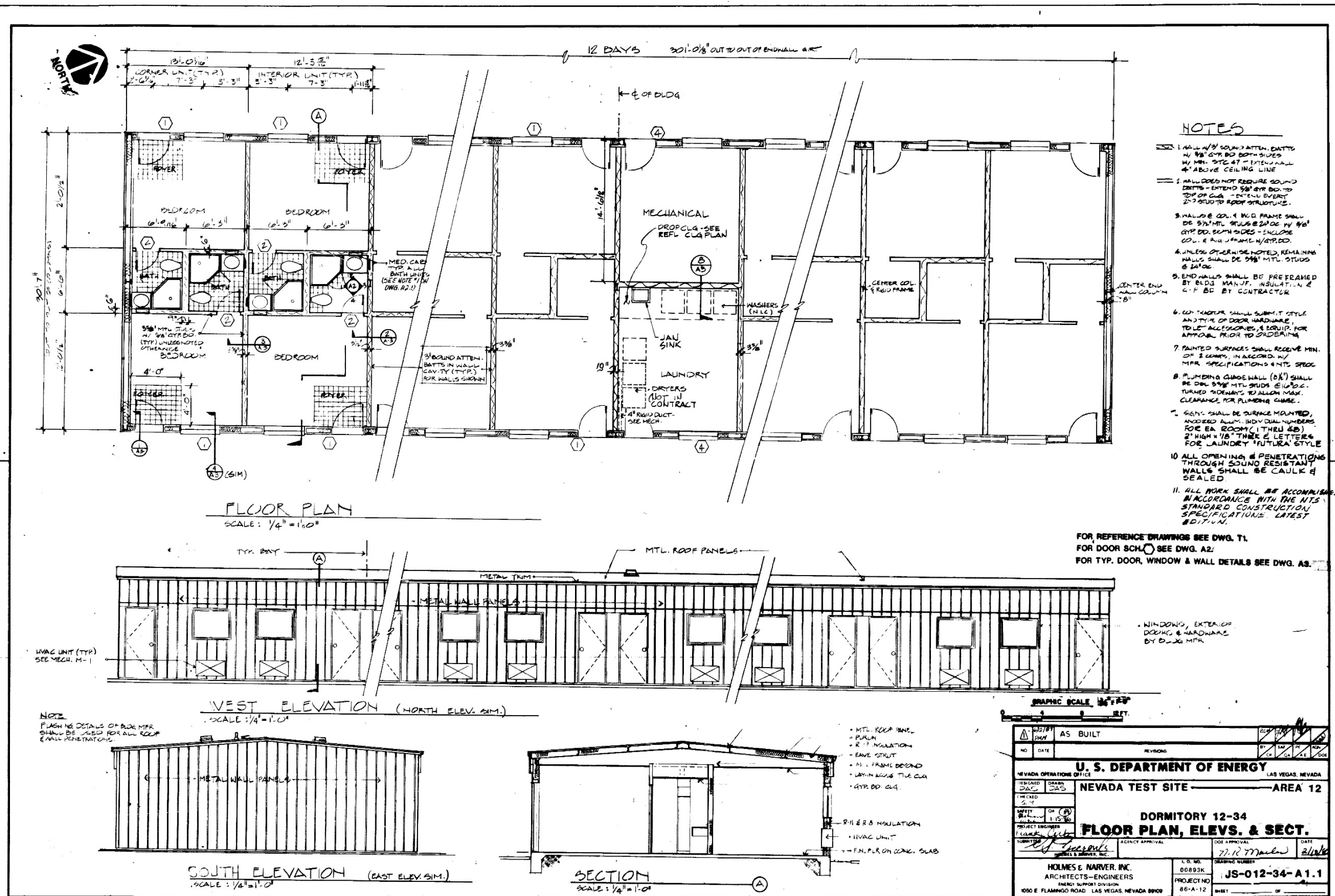
Accessory Resource Name	AR1 Fire Protection System Upright		
Construction Date	1989	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574722	Northing: 4117125	



DRI Photo: DSC_4668. AR1 Fire Protection System Upright.
Elevation: N/A **Direction facing: South** **Photographer: DRI** **Date: March 23, 2020**

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13. Engineering Drawings



Dormitory 12-34 Floor Plan, Elevations and Sections from Holmes & Narver engineering drawing JS-012-34-A1.1, dated February 18, 1986.

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Architectural Resource Assessment (ARA) Form – UPDATE

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date Update	March 23, 2020 April 17, 2025	Recorded By	Reno, Edwards, Wedding Haynes and Wedding	Agency Report #	TR 119 LR041725-1-MIT

The purpose of this update is to meet the mitigation requirements for an adverse effect to Building 12-35, SHPO Resource No. B18293, a contributing element to the Area 12 Camp Historic District (SHPO Resource No. D372) per the *Programmatic Agreement DE-GM58-22NA25554 Among the U.S. Department of Energy and the Nevada State Historic Preservation Officer and the Advisory Council on Historic Preservation Concerning the Protection of Historic Properties on the Nevada National Security Site, Nye County, Nevada* (NNSS PA). This form provides updates for the following:

- Added context to eligibility
- Individual NRHP eligibility
- Description of the interior with character-defining spaces identified
- Photos of the current condition and interior of Building 12-35 with photograph log
- Engineering drawing: floor plan and elevations
- Current annotated layout of building floor plan

5. NRHP Evaluation -- Individual

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
	Not Eligible <input checked="" type="checkbox"/>	Unevaluated <input type="checkbox"/>		
Area(s) of Significance	Nuclear Testing, Townsite Development			
Period(s) of Significance	1986-1992			
Integrity – Does the resource possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Threats to Resource:	Demolition			
Historic Name	Dormitory 12-35			
Current/Common Name	Same			
Historic/Original Owner	U.S. Department of Energy			
Current Owner	Nevada National Security Administration Nevada Field Office (NNSA/NFO)			
Current Owner Address	Nevada National Security Site (NNSS), Area 12, Nye County			
Historic Building Use	Dormitory			
Current Building Use	Vacant			
Architect/Engineer/Designer	Holmes & Narver, Inc.			
Builder/Contractor	Unknown			

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

Building 12-35 has been determined to be a contributing element to the Area 12 Camp Historic District (Reed 2021; Reno et al. 2021). It contributes to the significance of this historic district under Criterion A because it performed an essential support role for nuclear testing activities in the northern portion of the NNSS during the final years of the Cold War from 1986 and 1992. Indeed, it is one of five dormitory buildings that were the first permanent housing facilities built in Area 12, clearly indicating that at that time there was no end in sight to nuclear testing. It also contributes to the significance of the historic district under Criterion C because there are only a small number of contributing elements that remain from the period of significance. It is a highly visible element that forms part of the distinctive design and construction of the district.

The building and its immediate surroundings retain all aspects of integrity to a high degree and easily conveys its significance as motel-style housing that supported Area 12 Camp operations (Reno et al. 2021). An archival and literature review provided little information into the specific uses of 12-35 between 1986, when it was built, and the end of the nuclear testing period in 1992. This building is no longer used as originally intended and is currently vacant.

NRHP Eligibility

Building 12-35 is not recommended eligible for the NRHP as an individual resource under any Significance Criteria. Furthermore, as less than 50 years of age, it would need to meet Criteria Consideration G for possessing exceptional significance, which it does not.

Criterion A. To be eligible for the National Register under Criterion A, properties must be associated with events that have made a significant contribution to the broad patterns of our history. Tlachac (1991) in the “Nuclear Testing” context for the Nevada Comprehensive Preservation Plan states that resources associated with Cold War nuclear testing may be eligible for listing on the NRHP. The Cold War is an important event in the history of the U.S., as supported by a National Historic Landmarks Theme Study (Salmon 2022), and the NNSS played an important role in that history as the nation’s nuclear testing ground (Rhode et al. 2022). Regarding this criterion, 12-35 is generally associated with nuclear testing activities. While it is known that the building was used as a motel-style dormitory that provided short-term housing for staff, it did not play a specific role for any given test or series of tests, nor did it have a relationship to any specific scientific developments. As such, Building 12-35 does not appear to be eligible under Criterion A.

Criterion B. Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past. While many people stayed overnight in Building 12-35, the building does not appear to be associated with any significant persons. Therefore, Building 12-35 is not recommended eligible for listing under Criterion B.

Criterion C. Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values. Properties may also be eligible under this criterion if they represent a significant and distinguishable entity whose components may lack individual distinction. Building 12-35 is one of a number of large, prefabricated metal buildings that once composed Area 12 Camp and helps to convey the district’s overall permanent, utilitarian, military-industrial character. In addition, it is one of five nearly identical dormitory buildings of which each is composed of multiple sleeping and restroom quarters, a public laundry room, and a mechanical/equipment room. It is not architecturally significant or unique, nor does it represent the work of a master. Building 12-35 is not recommended eligible under Criterion C.

Criterion D. Properties significant under Criterion D must have the potential to yield further information about human history that can only be answered by the actual physical material of the resources. There are two requirements for a resource to be found significant under Criterion D: the property must have or have had information to contribute to our understanding of human history or prehistory, and the information must be considered important. Building 12-35 has been subject to an archival and literature review on its role in nuclear testing on the NNSS. It is unlikely that the building itself could yield more information that would be considered important. Building 12-35 does not appear to be significant under Criterion D.

Integrity

Building 12-35 retains all seven aspects of integrity to varying degrees, although it is now vacant and no longer being used. It remains in its original location, retaining its original materials, design, and workmanship. Its integrity of setting, association, and feeling have been compromised because the Area 12 Camp Historic District is no longer used by the NNSS as a forward camp for nuclear weapons testing. Moreover, most of the buildings in the camp have been either demolished or abandoned since the end of nuclear testing in 1992.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

This dormitory was constructed in 1986 and is one in a series of five permanent dormitories built on the far northwestern block of Area 12 Camp. It is bounded by 7th Street to the north and Chena Street to the south, an open yard to its west, and other comparable dormitory buildings to its east. Dormitory 12-35 is long and narrow, 301-feet long by 31-feet wide, and built in the style of a motel with outside access to each of the guest rooms. The long east and west elevations are identical with a rhythm of door, window, window, door, door, window, window, and so on. The building is made of prefabricated corrugated metal on a thickened slab-on-grade concrete foundation. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to paved parking areas north and south of the building. Associated with the building are three accessory resource: an electrical transformer box (AR1) and two fire protection system valve uprights (AR2-AR3). There has been no change in the exterior condition of Building 12-35 since its initial recording in March 2020.

Interior Character-defining Spaces

The interior space is defined by identical suites of a single bedroom with an attached bathroom (see Holmes and Narver 1986, NNSA/NFO 2022). There is a total of 46 suites, 23 on the east side of the building and 23 on the west side. The north and south halves of the building are divided by a public laundry room and a mechanical/equipment room, which oppose each other, one opening on the east side and one on the west side, respectively.

The bedrooms are square and measure 12 ft. 6 in. per side. The floor is covered by indoor-outdoor carpet, except at the entrance or foyer which has a small square area covered in linoleum tile. The ceiling has hung, sound-dampening tiles. The interior of each room contained the following furniture: a single bed with a wooden headframe and metal mattress frame with casters; a wooden desk, chair and small lamp; a wooden wardrobe; and a low wooden chest of drawers.

The bathroom is directly behind each bedroom, toward the center of the building. All the bathrooms are composed of a nearly square room, 6 ft. 6 inches east-west by 6 ft. 3 inches north-south. The floor is tiled with linoleum and the ceiling is finished. Each bathroom contains a corner shower, toilet, and sink. Above the sink is a mirror and light fixture. In the ceiling is a heat lamp.

Separating the north and south half of the dormitory is a public laundry room and a mechanical/equipment room. The laundry room is on the east side of the building, whereas the mechanical/equipment room is on the west side. Although currently empty, the laundry room contained washers along the back or west wall and dryers along the side or south wall. A sink is built into the southwest corner. The mechanical/equipment room contains a full-size breaker box, hot water heaters, and water valves. The mechanical/equipment room ceiling is not finished and has exposed steel joists with insulation in between the joists.

8. References

List references used to research and evaluate the individual property.

Holmes & Narver, Inc. (H&N)

1986 "Dormitory 12-35: Floor Plan, Elevs., & Sect.". Engineering Drawing No. JS-012-35-A1, dated February 18.

NNSA/NFO, see U.S. Department of Energy

Reed, Robin K.

2021 "Re: Section 106 Consultation for the Area 12 Camp Historic District Architectural Survey Report, Nevada National Security Site, Nye County, Nevada (AMMI:CES-2147; ADM:16.1.5.A; TR119) (UT2019-5780; 28189)." Letter received by Monica Sanchez, Acting Assistant Manager for Mission and Infrastructure, National Nuclear Security Administration, Nevada Field Office, Las Vegas, June 1.

Reno, Ronald, Susan Edwards, Cheryl Collins, and Jeffrey Wedding

2021 *The Architecture of Area 12 Camp – Nevada's Atomic Ghost Town: An Architectural Survey of Area 12 Camp, Nevada National Security Site, Nye County, Nevada* (Revision 2). Desert Research Institute Cultural Resources Technical Report No. 119. Desert Research Institute, Las Vegas.

Rhode, David, Maureen King, Susanne Rowe, Susan Edwards, and Harold Drollinger

2022 Appendix B: Historic Contexts and Research Questions. In *Cultural Resource Management Plan for the Nevada National Security Site, Nye County, Nevada* (Revision 2). U.S. Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas.

Salmon, John S.

2022 *Protecting America: Cold War Defensive Sites, A National Historic Landmarks Theme Study*. The National Historic Landmarks Program, U.S. Department of the Interior, Washington D.C.

Tlachac, Eve M.

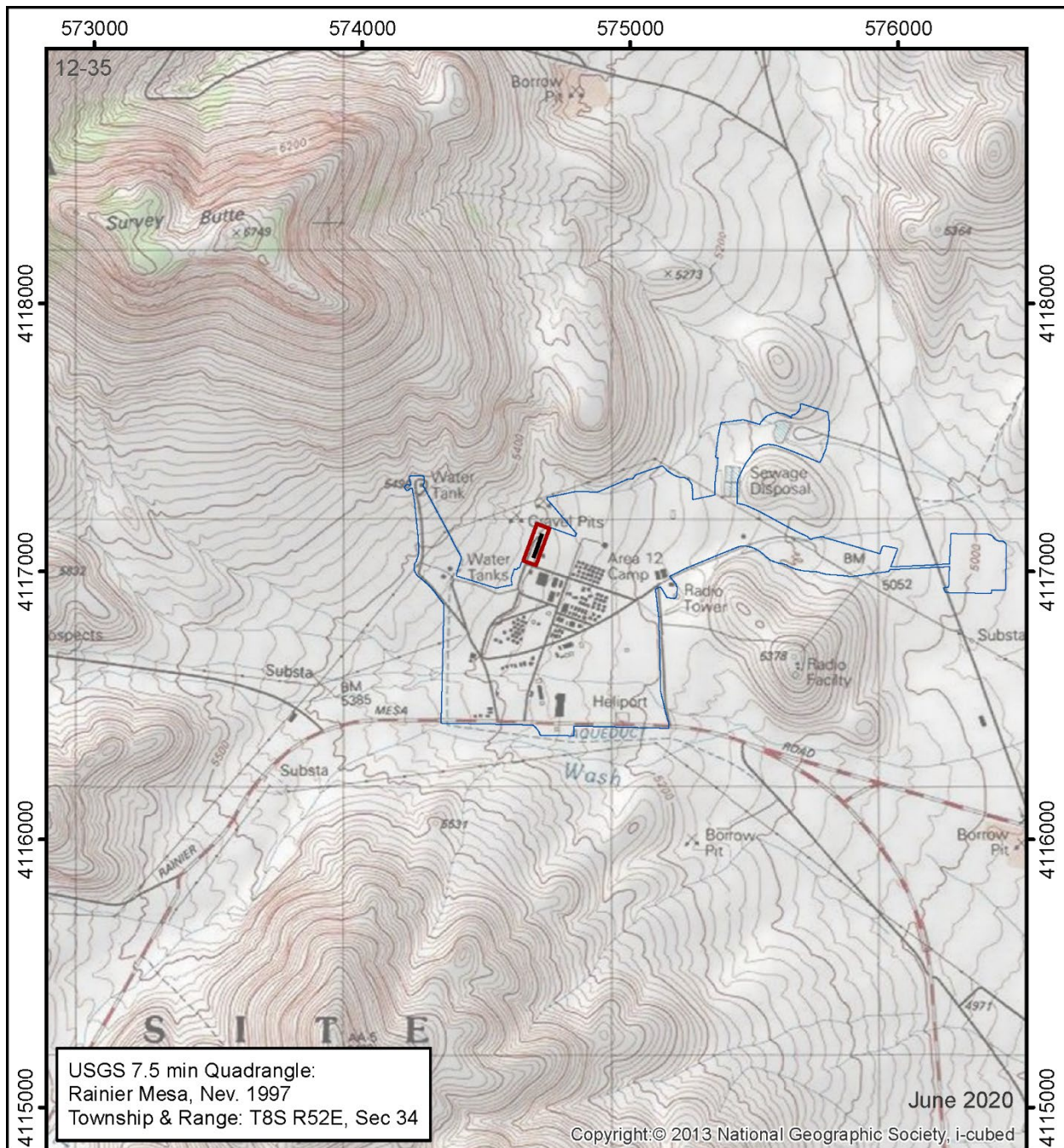
1991 Nuclear Testing. In *Nevada Comprehensive Preservation Plan*, edited by W. G. White, R. M. James, and R. Bernstein, pp. 25/13-25/24. Division of Historic Preservation and Archaeology, Department of Conservation and National Resources, Nevada Historical Society, Department of Museums and History, Carson City.




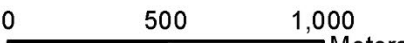
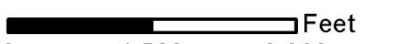


U.S. Department of Energy (NNSA/NFO)

2022 "Building 12-35, Space Management Plan". Nevada National Security Administration, Nevada Field Office, Las Vegas.

9. Area Location Map

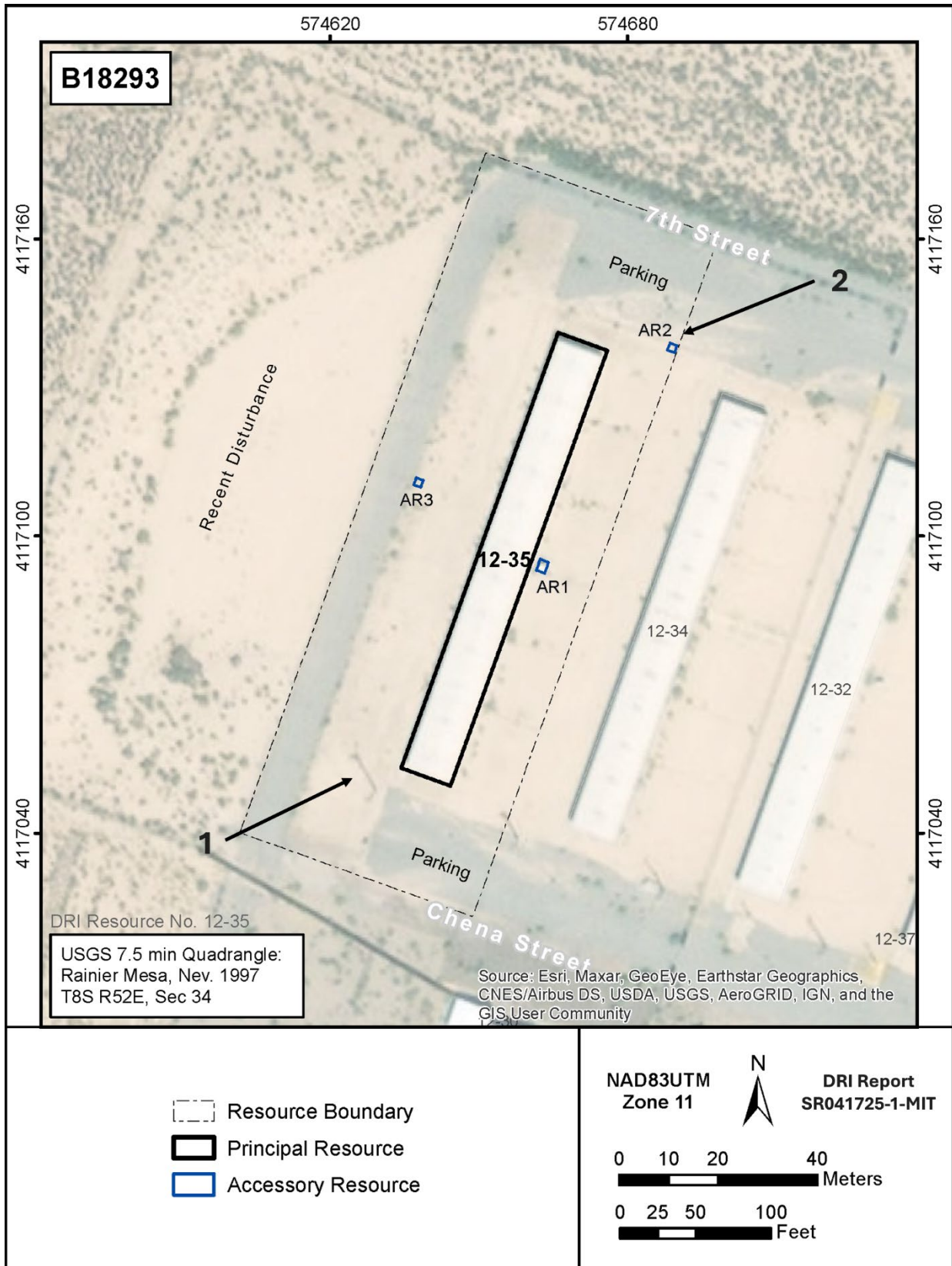
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18293 / Bldg. 12-35</p>	<p>Scale: 1:24,000</p>	<p>DRI Report SR041725-1-MIT</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83  </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.

Photo Log

Name of Property: Dormitory 12-35

City or Vicinity: Area 12 Camp

County: Nye

State: Nevada

Name of Photographer: Jeffrey Wedding

Date of Photographs: April 17, 2025

Location of Original Digital Files: Desert Research Institute, 755 E. Flamingo Road, Las Vegas, NV 89119

Exterior Photos (see Site Plan Map, page 6)
Photo 1, 2531_1592 Overview of the west and south elevations, current condition, camera facing northeast.
Photo 2, 2531_1606 Overview of the east and north elevations, current condition, camera facing southwest.
Interior Photos (see Building 12-35 Space Management Plan, page 17)
Photo 3, 2531_1584 Room 45, standard bedroom interior, camera facing northwest.
Photo 4, 2531_1585 Room 45, standard bedroom interior, camera facing southeast.
Photo 5, 2531_1586 Room 45, standard bathroom interior, camera facing west.
Photo 6, 2531_1587 Room 47, public laundry room interior, camera facing west-northwest.
Photo 7, 2531_1588 Room 47, public laundry room interior, camera facing east.
Photo 8, 2531_1589 Room 47, public laundry room interior, dryer vent detail, south wall, camera facing south.
Photo 9, 2531_1590 Room 47, public laundry room interior, water valves detail, west wall.
Photo 10, 2531_1620 Room 48, mechanical/equipment room interior, hot water heaters, breaker box, and water main, camera facing northeast.
Photo 11, 2531_1621 Room 48, mechanical/equipment room interior, breaker box and wall heater, camera facing southeast.
Photo 12, 2531_1622 Room 48, mechanical/equipment room interior, hot water heaters and water mains, camera facing west.
Photo 13, 2531_1623 Room 48, mechanical/equipment room interior, hot water heaters, camera facing northwest.



DRI Photo 1: 2531_1592. Overview of the west and south elevations, current condition.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 2: 2531_1606. Overview of the east and north elevations, current condition.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 3: 2531_1584. Room 45, standard bedroom interior.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 4: 2531_1585. Room 45, standard bedroom interior.
Elevation: NA Direction facing: Southeast Photographer: DRI Date: April 17, 2025



DRI Photo 5: 2531_1586. Room 46, standard bathroom interior.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025
Nevada SHPO – ARA Form Page 10



DRI Photo 6: 2531_1587. Room 47, public laundry room interior.
Elevation: NA Direction facing: West-Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 7: 2531_1588. Room 47, public laundry room interior.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



DRI Photo 8: 2531_1589. Room 47, public laundry room, dryer vent detail, south wall.
Elevation: NA Direction facing: South Photographer: DRI Date: April 17, 2025



DRI Photo 9: 2531_1590. Room 47, public laundry room, water valve detail, west wall.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 10: 2531_1620. Room 48, mechanical/equipment room interior, hot water heaters, breaker box, and water main.

Elevation: NA

Direction facing: Northeast

Photographer: DRI

Date: April 17, 2025



DRI Photo 11: 2531_1621. Room 48, mechanical/equipment room interior, breaker box and wall heater.

Elevation: NA

Direction facing: Southeast

Photographer: DRI

Date: April 17, 2025

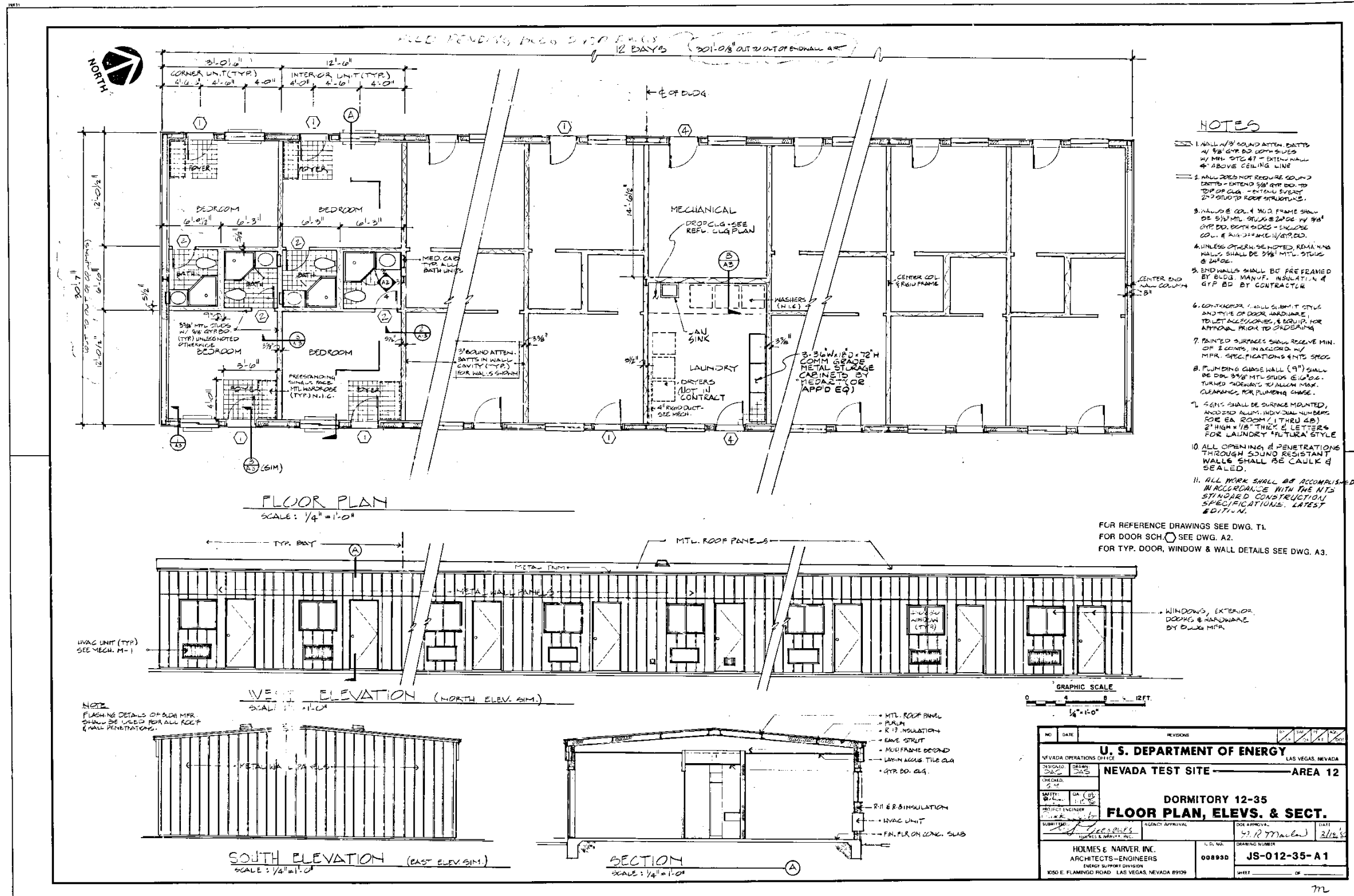


DRI Photo 12: 2531_1622. Room 48, mechanical/equipment room interior, hot water heaters and water mains.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



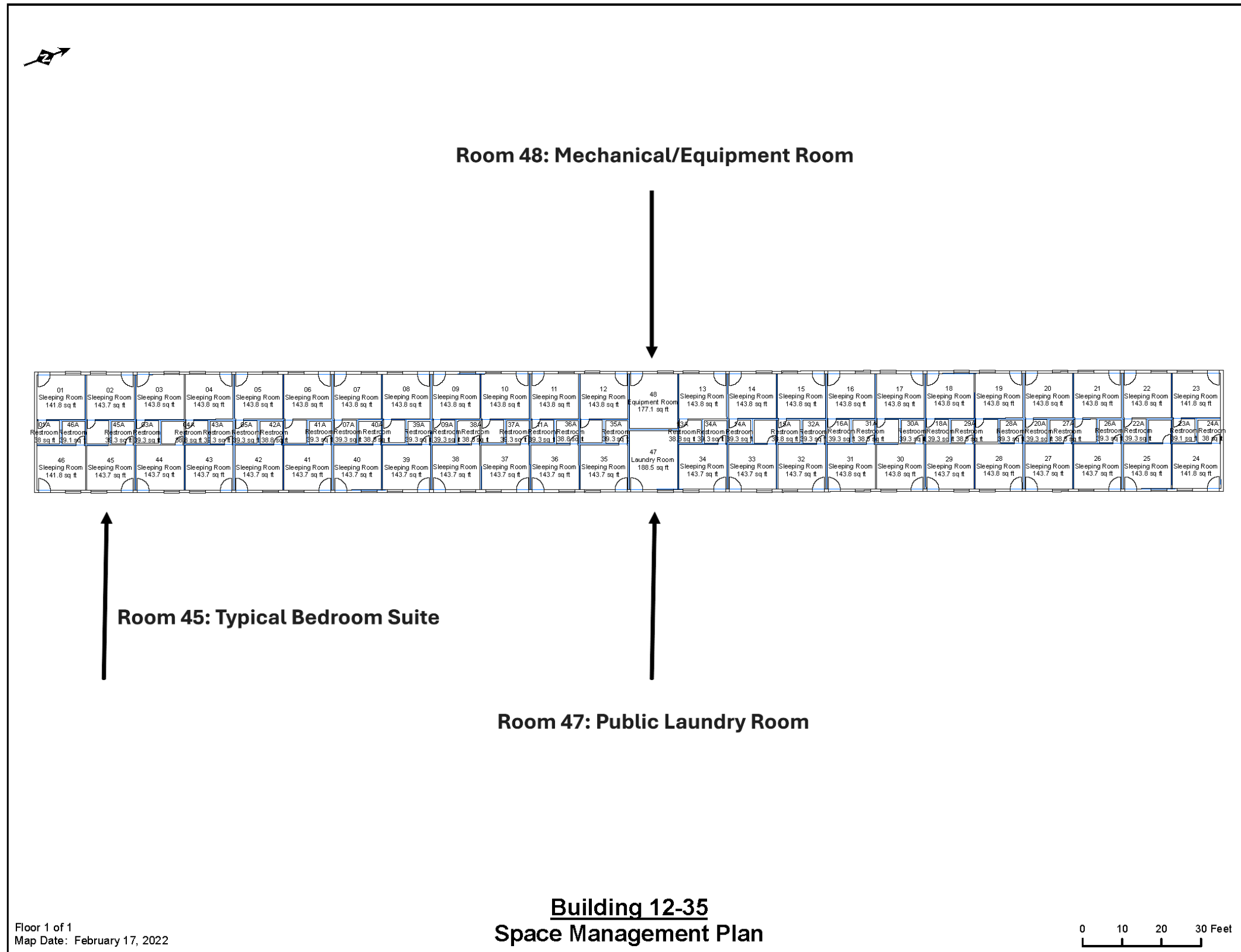
DRI Photo 13: 2531_1623. Room 48, mechanical/equipment room interior, hot water heaters.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025

12. Engineering Drawings



Dormitory 12-35 Building Procurement from Holmes & Narver engineering drawing JS-012-35-A1, dated February 18, 1986.

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Architectural Resource Assessment (ARA) Form

For SHPO Use Only	SHPO Concurrence?: Y / N	Date:
Survey Date	March 23, 2020	Recorded By
Reno, Edwards, Wedding	Agency Report #	TR 119

1. Property Type

Building <input checked="" type="checkbox"/>	Structure <input type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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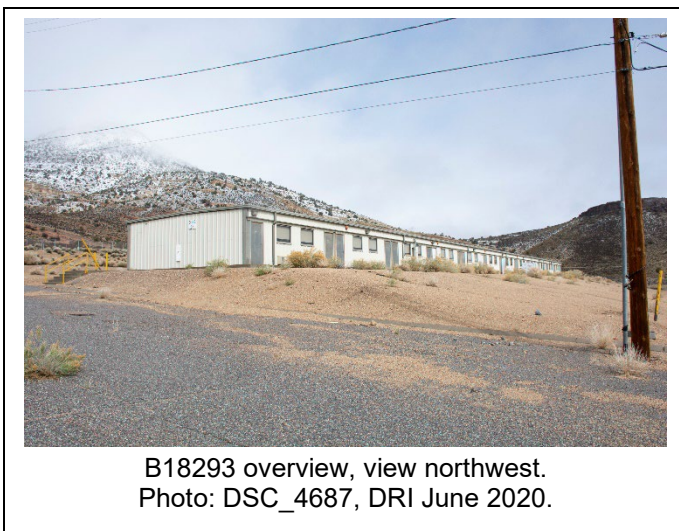
2. Property Overview and Location

Street Address	NNSS Area 12 Camp		
City, Zip			
County	Nye		
Assessor's Parcel #	N/A	Subdivision Name	N/A
UTM Location (NAD 83, UTM Zone 11 North)	Easting: 574655		Northing: 4117095
USGS Info	Township: 8S	Range: 52E	Section: 34
USGS 7.5' Quad & Date: Rainier Mesa, Nev. 1997			
Ownership	Private <input type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>
Restricted-Federal <input checked="" type="checkbox"/>		Multiple <input type="checkbox"/>	
Should the property's location be kept confidential?	Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>

3. Architectural Information

(Insert primary photograph below.)

Construction Date	1986
Architectural Style	Prefabricated
Architectural Type	Metal
Roof Form	Gable
Roof Materials	Metal
Exterior Wall Materials	Metal
Foundation Materials	Concrete
Window Materials	Metal
Window Type	Fixed
Accessory Resources?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
	Number?: 3



Condition of Resource(s)?	
Good <input checked="" type="checkbox"/>	Fair <input type="checkbox"/> Poor <input type="checkbox"/>
Explanation: Maintained in standby status.	

4. Existing Listing & Potential District

Is the property listed in the National Register?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Date Listed:
				NRIS #:
Contributing to a listed historic district?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Name:
				Date listed:
				NRIS #:
If no, is there a potential district?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If so, is this resource contributing?	Yes <input checked="" type="checkbox"/>
				No <input type="checkbox"/>
District Name: NNSS Area 12 Camp Historic District				SHPO #: D372

5. NRHP Evaluation

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>		
	Not Eligible <input type="checkbox"/>	Unevaluated <input checked="" type="checkbox"/>				
Area(s) of Significance	Nuclear Testing, Townsite Development					
Period(s) of Significance	1986-1992					
Integrity – Does the resource possess integrity in all or some of the 7 aspects?						
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): various		
Threats to Resource:	Redevelopment					
Historic Name	Dormitory 12-35					
Current/Common Name	Same					
Historic/Original Owner	U.S. Atomic Energy Commission					
Current Owner	U.S. Department of Energy Nevada National Security Administration Nevada Field Office					
Current Owner Address	Nevada National Security Site					
Historic Building Use	Dormitory					
Current Building Use	Vacant					
Architect/Engineer/Designer	Unknown Prefabrication Firm to specifications by Holmes & Narver (H&N)					
Builder/Contractor	Unknown					

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

For purposes of the present survey, the resources in Area 12 Camp were evaluated only as they relate to the Historic District as a contributing versus non-contributing element. It is the nature of most of the individual elements of the district that they would not be individually eligible, but rather that, in the aggregate, they combine to create the unique significance of the district as a whole, which is presently recommended eligible to the National Register under Criteria A and C and unevaluated under Criteria B and D as detailed in the District form.

Since so many elements of the district have already been lost, those remaining elements from the period of significance have more comparative importance than they would have had otherwise. They are now in many cases rare survivors of what were formerly fairly common property types at the camp. With this in mind, the requirements for being considered contributing elements to the district are fairly low. If a resource still retains visible elements which date to the period of significance, it is considered contributing to the significance of the district both for its historic importance in relation to nuclear testing under Criterion A and as a part of the distinctive design and construction of the district under Criterion C. The companion question asked was if that resource was to be removed would the district lose some of its overall significance. In nearly all cases there is sufficient integrity to answer this question in the affirmative.

Due to the extensive resource-level of research beyond the capabilities of the present survey required to make justifiable recommendations regarding individual eligibility, this resource remains unevaluated under the criteria at this time. It is anticipated that such enhanced recording and evaluation will occur in the future as redevelopment plans mature.

Dormitory 12-35 performed an essential support role for testing in the northern portion of the Nevada Test Site during the final years of the Cold War period. It and its neighboring dormitories were the first permanent housing built in Area 12, clearly indicating that at that time there was no end in sight to testing activities. It is a good example of its type and is in excellent condition. The building and its surroundings retain all aspects of integrity to a high degree. It is a major contributing element of the Area 12 Camp Historic District. Its Accessory Resources are very minor contributing elements.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

PRIMARY RESOURCE

This dormitory is part of a series of five permanent dormitories built on the most northwestern block of Area 12 Camp, bounded by Logan Street to the east and Chena Street to the south. The other two boundaries are determined by paved local access roads and parking lots for the housing complex. The northern perimeter road was called 7th Street. This lot was initially graded and some utilities installed in 1961 as part of a dense array of housing trailers. As it turned out, aerial photos show that housing trailers were never installed on this block even though they are depicted there on 1962 camp maps.

For the intended small housing trailers the lot was lightly bladed since the terracing required for the trailers was so minimal. In contrast, even though the permanent dormitories were built along contour they still required significant terrace construction. Although executed in phases, all terracing was done as part of a single plan with uniform distance between dormitories of 85 to 86 feet. Ample flat spaces were allowed around the dormitories for access and drainage between each. Unpaved areas are now somewhat overgrown, mainly with rabbitbrush.

A large cut terrace was excavated to the northwest of this building sometime after 1992.

In the early 1970s the H&N Engineering Office was installed at the future location of this dormitory. It was made up of a collection of office trailers. It remained at this location until removed to make room for dormitory construction.

Dormitory 12-35 is an extremely long and narrow building (301 feet by 31 feet) built in the style of a motel with outside access to all rooms instead of the traditional axial hallway. It is built of prefabricated metal on a thickened slab-on-grade concrete foundation. Siding is pale yellow corrugated metal. The long east and west walls are identical with a rhythm of door, window, window, door, door, window, window, and so on, ending with a single doorway. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. Rectangular surface-mounted lights and fire alarms are spread along the upper part of the walls.

End walls are blank except for centered fire extinguisher brackets. The side-gable roof has a very low pitch. It has a full-length gutter which constitutes the fascia and periodic downspouts.

There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. Parking areas are equipped with concrete tire stops. Decorative gravel has been placed between walkways and the building. Wood utility poles run along the edge of the parking area at the south side of the row of dormitories.

ACCESSORY RESOURCE(S)

AR1 TRANSFORMER

A metal housing for a 120/208 volt transformer is mounted on a concrete pad.

AR2 FIRE PROTECTION SYSTEM VALVE UPRIGHT

The fire protection system valve upright has a typical red cast iron housing with yellow bollards and large status readout. This unit serves Dormitory 12-34.

AR3 FIRE PROTECTION SYSTEM VALVE UPRIGHT

The fire protection system valve upright has a typical red cast iron housing with yellow bollards and large status readout. This unit serves Dormitory 12-35.

8. References

List references used to research and evaluate the individual property.

Area 12 Camp Engineering Records

Various. Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

Edgerton, Germeshausen, and Grier, Inc. (EG&G)

1979 Aerial Photograph of the Area 12 Camp c.1979 (Photographic Image No. NF1552). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

National Archives and Records Administration (NARA)

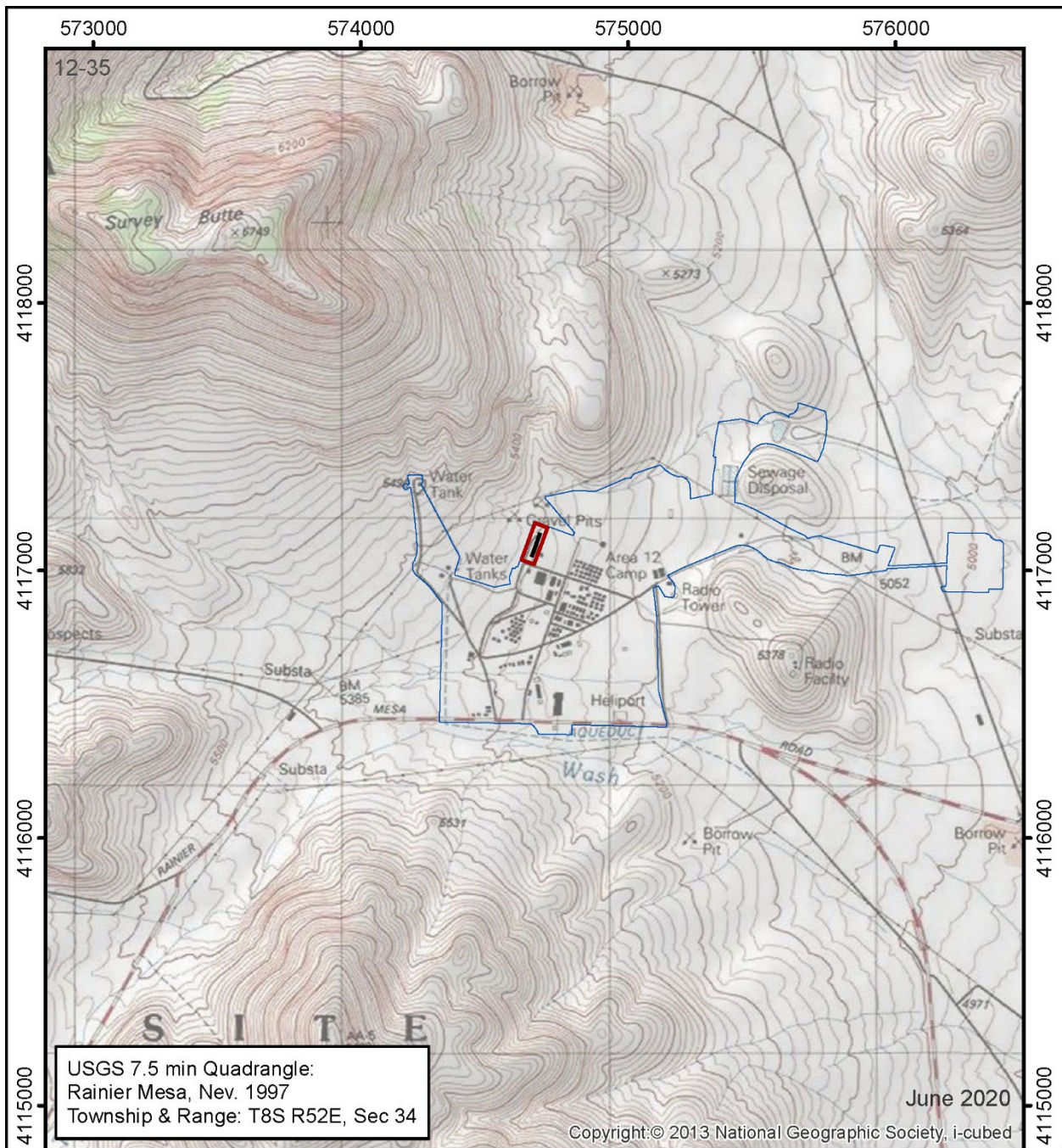
1991 "Saddle Mountain Project Aerials, Area 12." Series: Photographs Related to Nuclear Weapons Testing at the Nevada Test Site, 1/1972 - 12/2012, Record Group 434: General Records of the Department of Energy, 1915-2007. [Online version: <https://catalog.archives.gov/id/75491297>, National Archives and Records Administration, September 30, 2020].




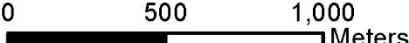
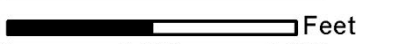


Reynolds Electrical and Engineering Co., Inc. (REECo)

1982 Photograph Album Index (1958-1976). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

9. Area Location Map

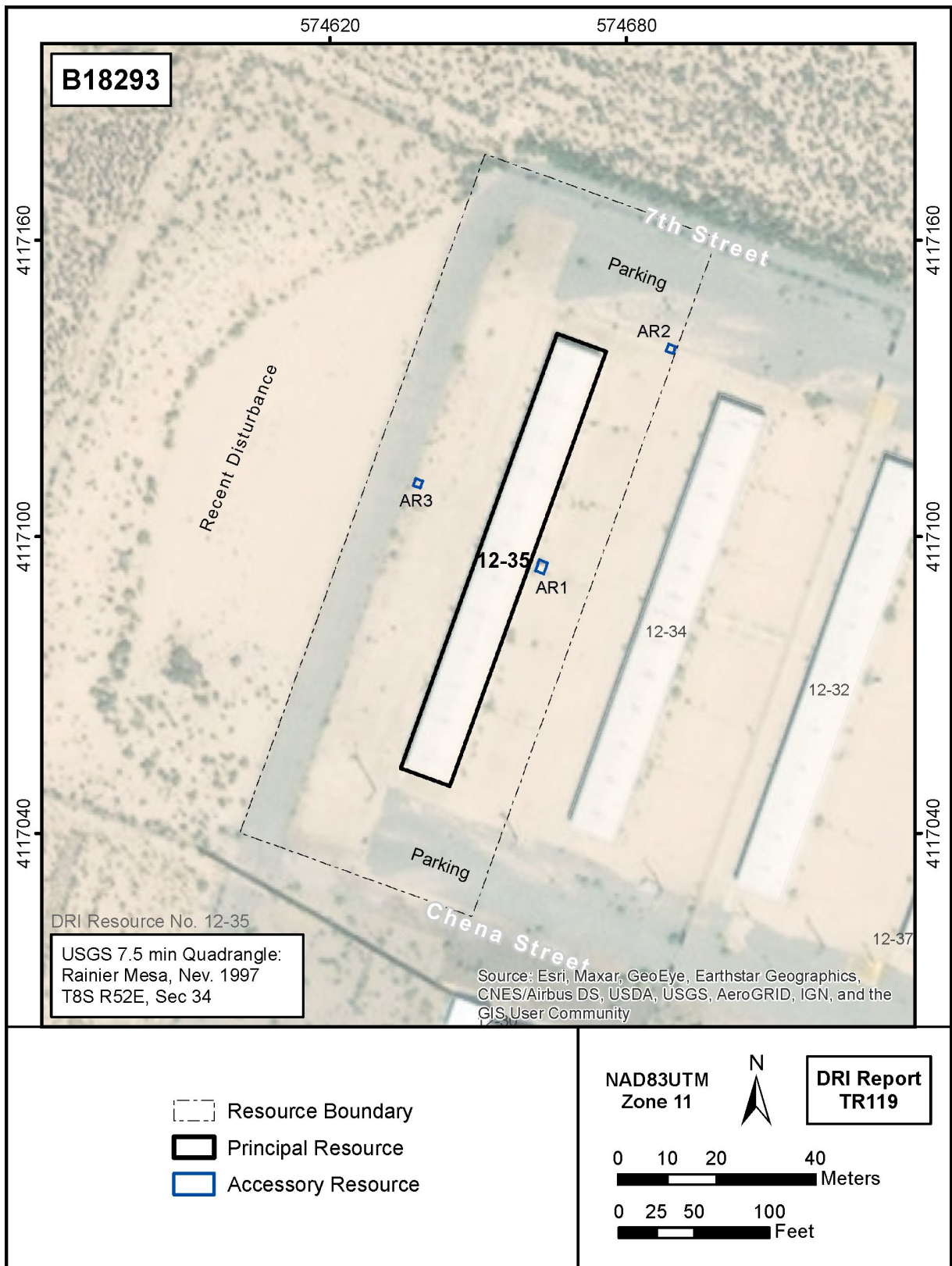
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18293</p>	<p>Scale: 1:24,000</p>	<p>DRI Report TR119</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83  </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.



DRI Photo: DSC_4694. Oblique view - west and south elevations.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4704. Oblique view - north and west elevations.
Elevation: North/West Direction facing: Southeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4706. North elevation.
Elevation: North Direction facing: South Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4708. Oblique view - east and north elevations.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4688. Oblique view - south and east elevations.
Elevation: South/East

Direction facing: Northwest

Photographer: DRI

Date: March 23, 2020



DRI Photo: DSC_4594. West elevation.

Elevation: West

Direction facing: East

Photographer: DRI

Date: September 27, 2020

12. Accessory Resources

Complete only if Accessory Resources are present. Include as many extra entries as necessary.

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
-----------------------------------	---	---------------------------------	--

Accessory Resource Overview

Accessory Resource Name	AR1 Transformer		
Construction Date	1986	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574662	Northing: 4117093	



DRI Photo: DSC_4732. AR1 Transformer.
 Elevation: N/A Direction facing: North Photographer: DRI Date: March 23, 2020

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
-----------------------------------	---	---------------------------------	--

Accessory Resource Overview

Accessory Resource Name	AR2 Fire Protection System Upright		
Construction Date	1987	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574689	Northing: 4117138	



DRI Photo: DSC_4668. AR2 Fire Protection System Upright.
 Elevation: N/A Direction facing: North Photographer: DRI Date: March 23, 2020

Accessory Property Type

Building <input type="checkbox"/>	Structure <input checked="" type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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Accessory Resource Overview

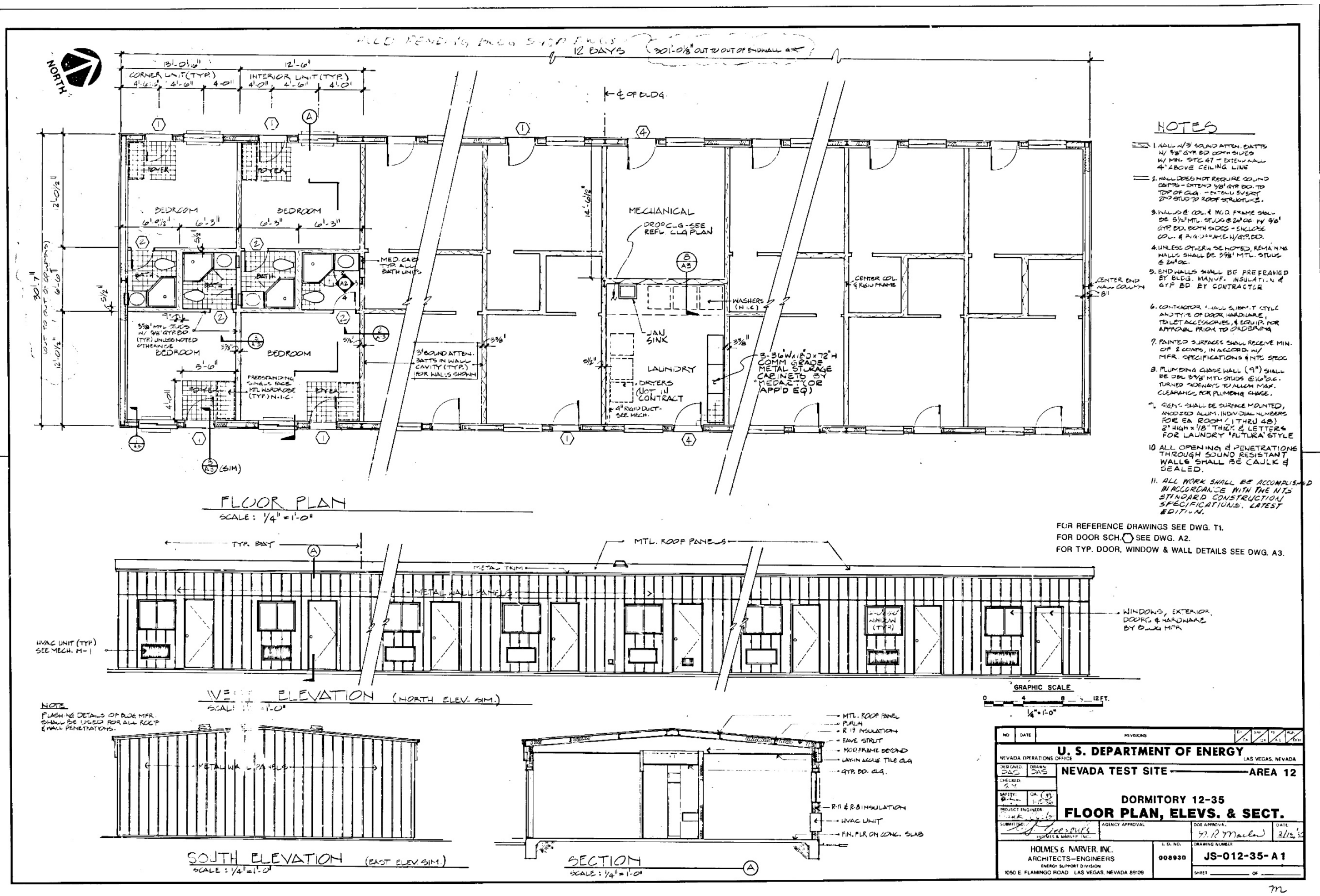
Accessory Resource Name	AR3 Fire Protection System Upright		
Construction Date	1986	Contributing?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting: 574637	Northing: 4117110	



DRI Photo: DSC_4749. AR3 Fire Protection System Upright.
Elevation: N/A Direction facing: East Photographer: DRI Date: March 23, 2020

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13. Engineering Drawings



Dormitory 12-35 Floor Plan, Elevations and Sections from Holmes & Narver engineering drawing JS-012-35-A1, dated February 18, 1986.

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NEVADA
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 PRESERVATION OFFICE**

Architectural Resource Assessment (ARA) Form – UPDATE

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date Update	March 23, 2020 April 17, 2025	Recorded By	Reno, Edwards, Wedding Haynes and Wedding	Agency Report #	TR 119 LR041725-1-MIT

The purpose of this update is to meet the mitigation requirements for an adverse effect to Building 12-37, SHPO Resource No. B18294, a contributing element to the Area 12 Camp Historic District (SHPO Resource No. D372) per the *Programmatic Agreement DE-GM58-22NA25554 Among the U.S. Department of Energy and the Nevada State Historic Preservation Officer and the Advisory Council on Historic Preservation Concerning the Protection of Historic Properties on the Nevada National Security Site, Nye County, Nevada* (NNSS PA). This form provides updates for the following:

- Added context to eligibility
- Individual NRHP eligibility
- Description of the interior with character-defining spaces identified
- Photos of the current condition and interior of Building 12-37 with photograph log
- Engineering drawing: floor plan and elevations
- Current annotated layout of building floor plan

5. NRHP Evaluation -- Individual

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>
	Not Eligible <input checked="" type="checkbox"/>	Unevaluated <input type="checkbox"/>		
Area(s) of Significance	Nuclear Testing, Townsite Development			
Period(s) of Significance	1989-1992			
Integrity – Does the resource possess integrity in all or some of the 7 aspects?				
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/> Feeling <input checked="" type="checkbox"/> Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s):
Threats to Resource:	Demolition			
Historic Name	Dormitory 12-37			
Current/Common Name	Same			
Historic/Original Owner	U.S. Department of Energy			
Current Owner	Nevada National Security Administration Nevada Field Office (NNSA/NFO)			
Current Owner Address	Nevada National Security Site (NNS), Area 12, Nye County			
Historic Building Use	Dormitory			
Current Building Use	Vacant			
Architect/Engineer/Designer	Holmes & Narver, Inc.			
Builder/Contractor	Unknown			

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource’s eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

Building 12-37 has been determined to be a contributing element to the Area 12 Camp Historic District (Reed 2021; Reno et al. 2021). It contributes to the significance of this historic district under Criterion A because it performed an essential support role for nuclear testing activities in the northern portion of the NNS during the final years of the Cold War from 1989 and 1992. Indeed, it is one of five dormitory buildings that were the first permanent housing facilities built in Area 12, clearly indicating that at that time there was no end in sight to nuclear testing. It also contributes to the significance of the historic district under Criterion C because there are only a small number of contributing elements that remain from the period of significance. It is a highly visible element that forms part of the distinctive design and construction of the district.

The building and its immediate surroundings retain all aspects of integrity to a high degree and easily conveys its significance as motel-style housing that supported Area 12 Camp operations (Reno et al. 2021). An archival and literature review provided little information into the specific uses of 12-37 between 1989, when it was built, to the end of the nuclear testing period in 1992. This building is no longer used as originally intended and is currently vacant.

NRHP Eligibility

Building 12-37 is not recommended eligible for the NRHP as an individual resource under any Significance Criteria. Furthermore, as less than 50 years of age, it would need to meet Criteria Consideration G for possessing exceptional significance, which it does not.

Criterion A. To be eligible for the National Register under Criterion A, properties must be associated with events that have made a significant contribution to the broad patterns of our history. Tlachac (1991) in the “Nuclear Testing” context for the Nevada Comprehensive Preservation Plan states that resources associated with Cold War nuclear testing may be eligible for listing on the NRHP. The Cold War is an important event in the history of the U.S., as supported by a National Historic Landmarks Theme Study (Salmon 2022), and the NNSS played an important role in that history as the nation’s nuclear testing ground (Rhode et al. 2022). Regarding this criterion, 12-37 is generally associated with nuclear testing activities. While it is known that the building was used as a motel-style dormitory that provided short-term housing for staff, it did not play a specific role for any given test or series of tests, nor did it have a relationship to any specific scientific developments. As such, Building 12-37 does not appear to be eligible under Criterion A.

Criterion B. Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past. While many people stayed overnight in Building 12-37, the building does not appear to be associated with any significant persons. Therefore, Building 12-37 is not recommended eligible for listing under Criterion B.

Criterion C. Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values. Properties may also be eligible under this criterion if they represent a significant and distinguishable entity whose components may lack individual distinction. Building 12-37 is one of a number of large, prefabricated metal buildings that once composed Area 12 Camp and helps to convey the district’s overall permanent, utilitarian, military-industrial character. In addition, it is one of five nearly identical dormitory buildings of which each is composed of multiple sleeping and restroom quarters, a public laundry room, and a mechanical/equipment room. It is not architecturally significant or unique, nor does it represent the work of a master. Building 12-37 is not recommended eligible under Criterion C.

Criterion D. Properties significant under Criterion D must have the potential to yield further information about human history that can only be answered by the actual physical material of the resources. There are two requirements for a resource to be found significant under Criterion D: the property must have or have had information to contribute to our understanding of human history or prehistory, and the information must be considered important. Building 12-37 has been subject to an archival and literature review on its role in nuclear testing on the NNSS. It is unlikely that the building itself could yield more information that would be considered important. Building 12-37 does not appear to be significant under Criterion D.

Integrity

Building 12-37 retains all seven aspects of integrity to varying degrees, although it is now vacant and no longer being used. It remains in its original location, retaining its original materials, design, and workmanship. Its integrity of setting, association, and feeling have been compromised because the Area 12 Camp Historic District is no longer used by the NNSS as a forward camp for nuclear weapons testing. Moreover, most of the buildings in the camp have been either demolished or abandoned since the end of nuclear testing in 1992.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

This dormitory was constructed in 1989 and is one in a series of five permanent dormitories built on the far northwestern block of Area 12 Camp. It is bounded by 7th Street to the north and Chena Street to the south with other comparable dormitory buildings to its east and west. Dormitory 12-37 is long and narrow, 301-feet long by 31-feet wide, and built in the style of a motel with outside access to each of the guest rooms. The long east and west elevations are identical with a rhythm of door, window, window, door, door, window, window, and so on. The building is made of prefabricated corrugated metal on a thickened slab-on-grade concrete foundation. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. The side-gable roof has a very low pitch with a full-length gutter and periodic downspouts. There are concrete walkways and steel railings along ramps to paved parking areas north and south of the building. There has been no change in the exterior condition of Building 12-37 since its initial recording in March 2020.

Interior Character-defining Spaces

The interior space is defined by identical suites of bedrooms with attached bathrooms (see Holmes and Narver 1988, NNSA/NFO 2022). There is a total of 46 suites, 23 on the east side of the building and 23 on the west side. The north and south halves of the building are divided by a public laundry room and a mechanical/equipment room, which oppose each other, one opening on the east side and one on the west side, respectively.

The bedrooms are square and measure 12 ft. 6 in. per side. The floor is covered by indoor-outdoor carpet, except at the entrance or foyer which has a small square area covered in linoleum tile. The ceiling has hung, sound-dampening tiles. The interior of each room contained the following furniture: a double bed with a wooden headframe and metal mattress frame with casters; a wooden desk, chair and small lamp; a wooden wardrobe; and a low wooden chest of drawers.

The bathroom is directly behind each bedroom, toward the center of the building. All the bathrooms are composed of a nearly square room, 6 ft. 6 inches east-west by 6 ft. 3 inches north-south. The floor is tiled with linoleum and the ceiling is finished. Each bathroom contains a corner shower, toilet, and sink. Above the sink is a mirror and light fixture. In the ceiling is a heat lamp.

Separating the north and south half of the dormitory is a public laundry room and a mechanical/equipment room. The laundry room is on the east side of the building, whereas the mechanical/equipment room is on the west side. Although currently empty, the laundry room contained washers along the back or west wall and dryers along the side or south wall. A sink is built into the southwest corner. The mechanical/equipment room contains a full-size breaker box, hot water heaters, and water valves. The mechanical/equipment room ceiling is not finished and has exposed steel joists with insulation in between the joists.

8. References

List references used to research and evaluate the individual property.

Holmes & Narver, Inc. (H&N)

1988 "Dormitory 12-37: Floor Plan, Elevs., & Sect.". Engineering Drawing No. JS-012-37-A1, dated May 27.

NNSA/NFO, see U.S. Department of Energy

Reed, Robin K.

2021 "Re: Section 106 Consultation for the Area 12 Camp Historic District Architectural Survey Report, Nevada National Security Site, Nye County, Nevada (AMMI:CES-2147; ADM:16.1.5.A; TR119) (UT2019-5780; 28189)." Letter received by Monica Sanchez, Acting Assistant Manager for Mission and Infrastructure, National Nuclear Security Administration, Nevada Field Office, Las Vegas, June 1.

Reno, Ronald, Susan Edwards, Cheryl Collins, and Jeffrey Wedding

2021 *The Architecture of Area 12 Camp – Nevada's Atomic Ghost Town: An Architectural Survey of Area 12 Camp, Nevada National Security Site, Nye County, Nevada* (Revision 2). Desert Research Institute Cultural Resources Technical Report No. 119. Desert Research Institute, Las Vegas.

Rhode, David, Maureen King, Susanne Rowe, Susan Edwards, and Harold Drollinger

2022 Appendix B: Historic Contexts and Research Questions. In *Cultural Resource Management Plan for the Nevada National Security Site, Nye County, Nevada* (Revision 2). U.S. Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas.

Salmon, John S.

2022 *Protecting America: Cold War Defensive Sites, A National Historic Landmarks Theme Study*. The National Historic Landmarks Program, U.S. Department of the Interior, Washington D.C.

Tlachac, Eve M.

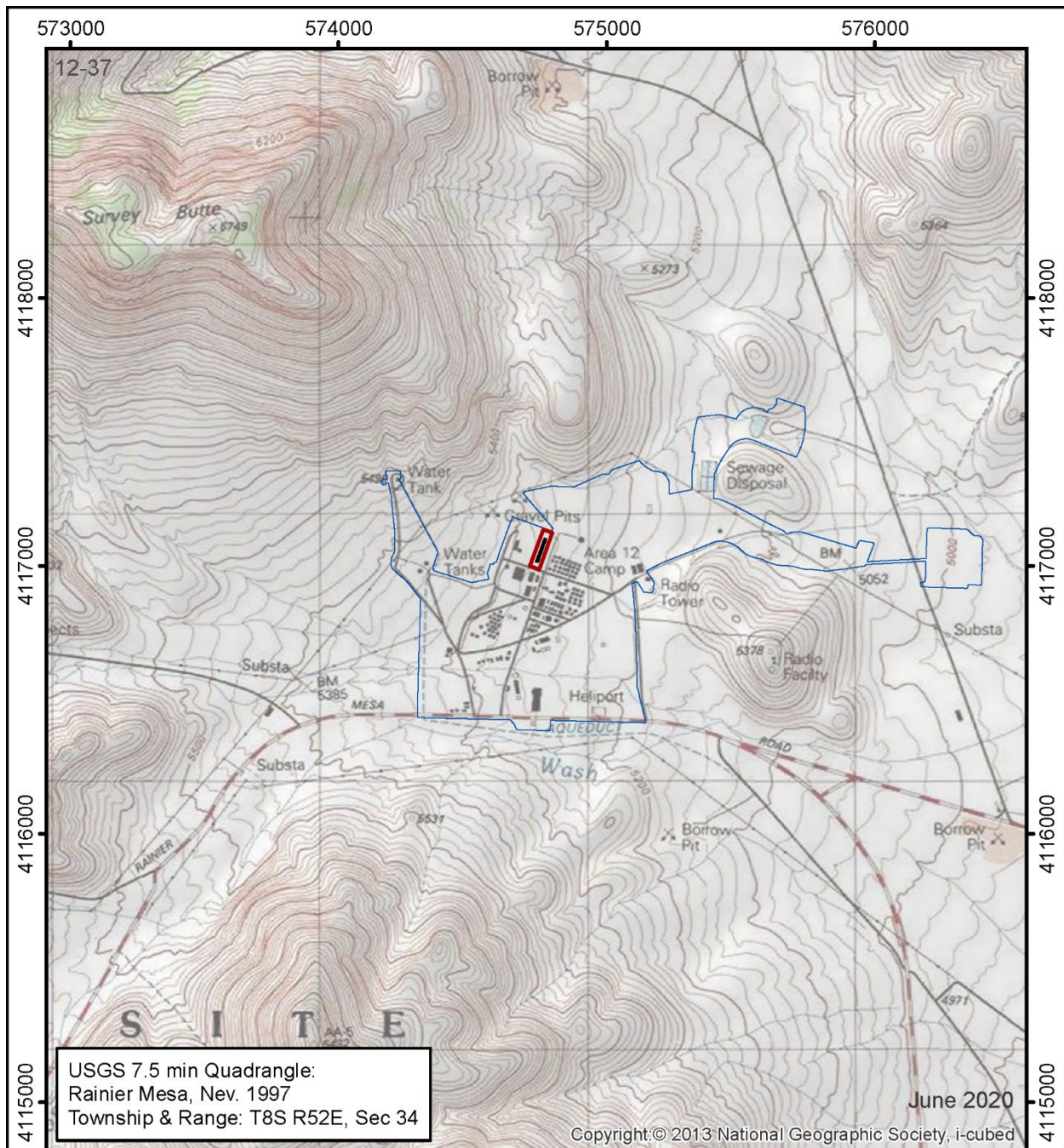
1991 Nuclear Testing. In *Nevada Comprehensive Preservation Plan*, edited by W. G. White, R. M. James, and R. Bernstein, pp. 25/13-25/24. Division of Historic Preservation and Archaeology, Department of Conservation and National Resources, Nevada Historical Society, Department of Museums and History, Carson City.




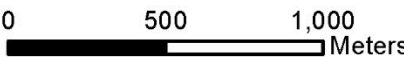
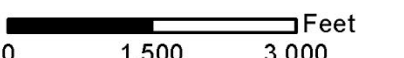


U.S. Department of Energy (NNSA/NFO)

2022 "Building 12-37, Space Management Plan". Nevada National Security Administration, Nevada Field Office, Las Vegas.

9. Area Location Map

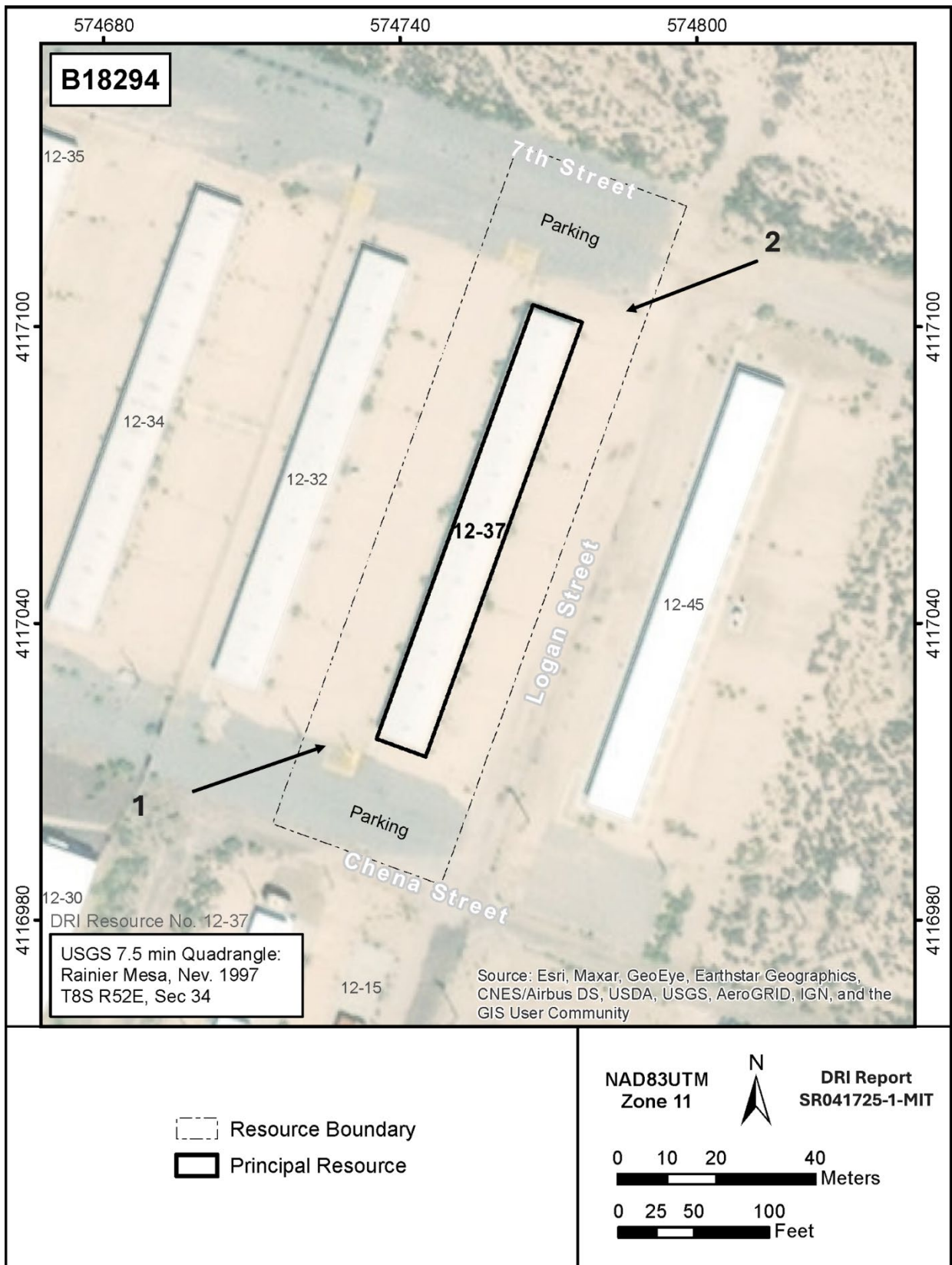
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18294 / Bldg. 12-37</p>	<p>Scale: 1:24,000</p>	<p>DRI Report SR041725-1-MIT</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83 </p>  <p>Desert Research Institute</p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.

Photo Log

Name of Property: Dormitory 12-37

City or Vicinity: Area 12 Camp

County: Nye

State: Nevada

Name of Photographer: Jeffrey Wedding

Date of Photographs: April 17, 2025

Location of Original Digital Files: Desert Research Institute, 755 E. Flamingo Road, Las Vegas, NV 89119

Exterior Photos (see Site Plan Map, page 6)
Photo 1, 2531_1598 Overview of the west and south elevations, current condition, camera facing northeast.
Photo 2, 2531_1600 Overview of the east and north elevations, current condition, camera facing southwest.
Interior Photos (see Building 12-37 Space Management Plan, page 17)
Photo 3, 2531_1536 Room 1, standard bedroom interior, camera facing northwest.
Photo 4, 2531_1537 Room 1, standard bedroom interior, camera facing southeast.
Photo 5, 2531_1540 Room 1, standard bathroom interior, camera facing east-northeast.
Photo 6, 2531_1541 Room 1, standard bathroom interior, east wall mirror and light and ceiling heat lamp, detail.
Photo 7, 2531_1542 Room 1, wardrobe detail.
Photo 8, 2531_1544 Room 1, standard bedroom interior, foyer and door, camera facing southwest.
Photo 9, 2531_1545 Room 1, standard bedroom interior, ceiling detail.
Photo 10, 2531_1575 Room 36, public laundry room interior, camera facing northwest.
Photo 11, 2531_1576 Room 36, public laundry room interior, camera facing west.
Photo 12, 2531_1577 Room 36, public laundry room interior, camera facing east.
Photo 13, 2531_1608 Room 13, mechanical/equipment room interior, hot water heaters, breaker box, and water main, camera facing northeast.
Photo 14, 2531_1609 Room 13, mechanical/equipment room interior, ceiling detail.

Photo 15, 2531_1610
Room 13, mechanical/equipment room interior, breaker box, camera facing east.

Photo 16, 2531_1611
Room 13, mechanical/equipment room interior, fire equipment control valve, detail.

Photo 17, 2531_1612
Room 13, mechanical/equipment room interior, hot water heaters and phone panel, camera facing north.



DRI Photo 1: 2531_1598. Overview of the west and south elevations, current condition.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 2: 2531_1600. Overview of the east and north elevations, current condition.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 3: 2531_1536. Room 1, standard bedroom interior.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 4: 2531_1537. Room 1, standard bedroom interior.
Elevation: NA Direction facing: Southeast Photographer: DRI Date: April 17, 2025



DRI Photo 5: 2531_1540. Room 1, standard bathroom interior.
Elevation: NA Direction facing: East-Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 6: 2531_1541. Room 1, standard bathroom interior, east wall mirror and light and ceiling heat lamp.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 7: 2531_1542. Room 1, wardrobe detail.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 8: 2531_1544. Room 1, standard bedroom interior, foyer and door.
Elevation: NA Direction facing: Southwest Photographer: DRI Date: April 17, 2025



DRI Photo 9: 2531_1545. Room 1, standard bedroom interior, ceiling detail.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 10: 2531_1575. Room 36, public laundry room interior.
Elevation: NA Direction facing: Northwest Photographer: DRI Date: April 17, 2025



DRI Photo 11: 2531_1576. Room 36, public laundry room interior.
Elevation: NA Direction facing: West Photographer: DRI Date: April 17, 2025



DRI Photo 12: 2531_1577. Room 36, public laundry room interior.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



DRI Photo 13: 2531_1608. Room 13, mechanical/equipment room interior, hot water heaters, breaker box, water main.
Elevation: NA Direction facing: Northeast Photographer: DRI Date: April 17, 2025



DRI Photo 14: 2531_1609. Room 13, mechanical/equipment room interior, ceiling detail.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 15: 2531_1610. Room 13, mechanical/equipment room interior, breaker box.
Elevation: NA Direction facing: East Photographer: DRI Date: April 17, 2025



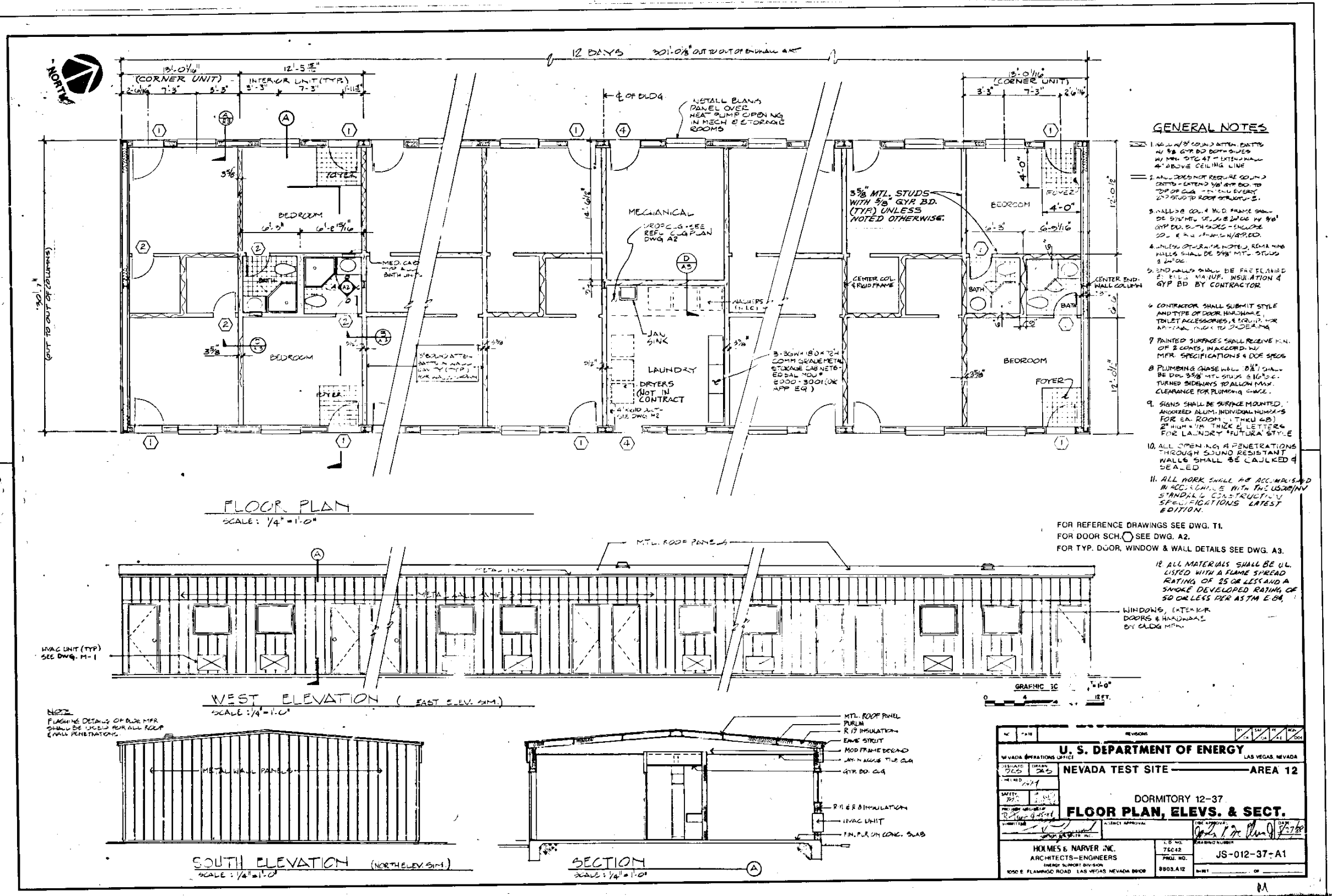
DRI Photo 16: 2531_1611. Room 13, mechanical/equipment room interior, fire control valve detail.
Elevation: NA Direction facing: Detail Photographer: DRI Date: April 17, 2025



DRI Photo 17: 2531_1612. Room 13, mechanical/equipment room interior, hot water heaters, and phone panel.
Elevation: NA Direction facing: North Photographer: DRI Date: April 17, 2025

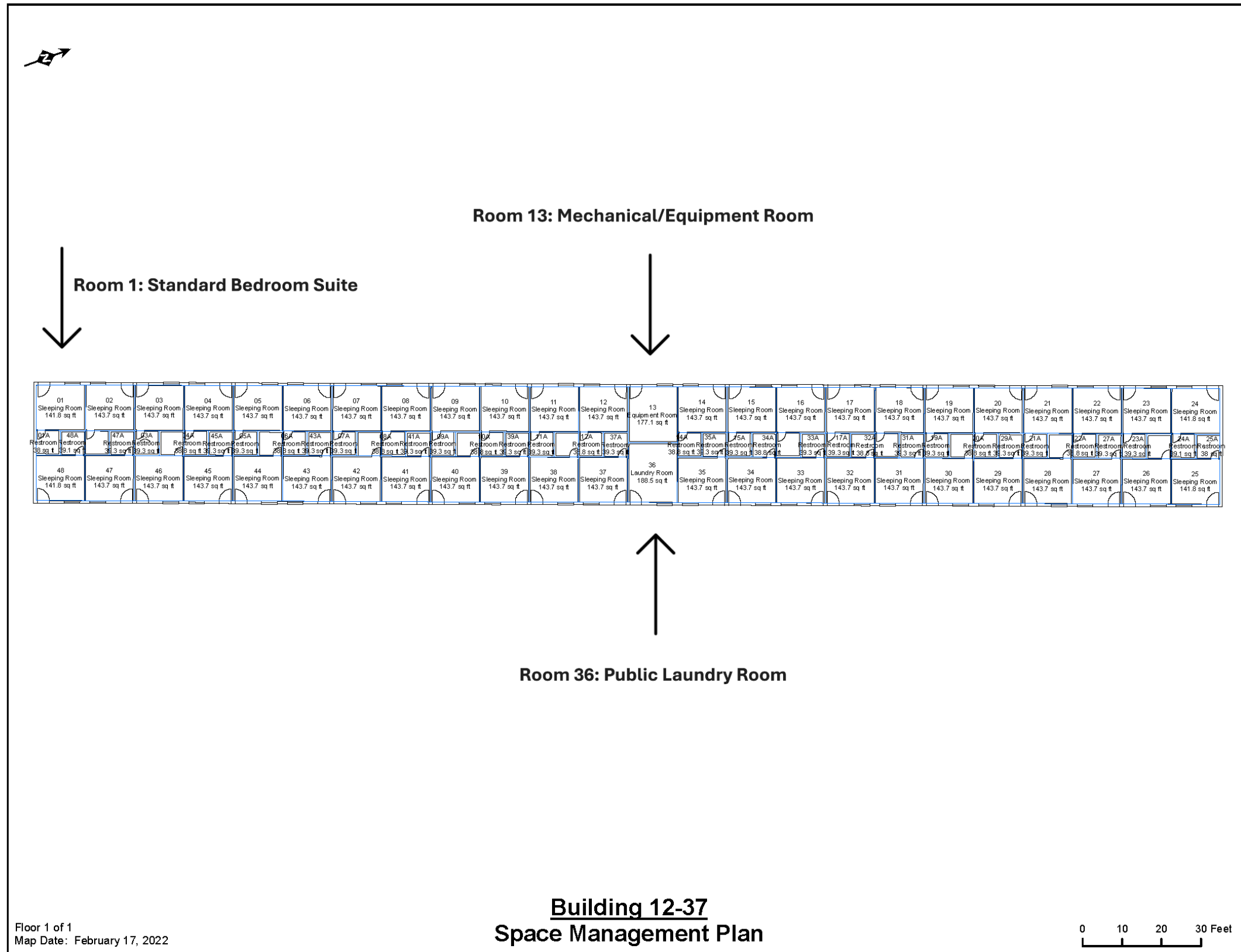
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12. Engineering Drawings



Dormitory 12-37 Building Procurement from Holmes & Narver engineering drawing JS-012-37-A1, dated May 27, 1988.

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NEVADA
**STATE HISTORIC
 PRESERVATION OFFICE**

Architectural Resource Assessment (ARA) Form

For SHPO Use Only		SHPO Concurrence?: Y / N		Date:	
Survey Date	March 23, 2020	Recorded By	Reno, Edwards, Wedding	Agency Report #	TR 119

1. Property Type

Building <input checked="" type="checkbox"/>	Structure <input type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
--	------------------------------------	---------------------------------	--

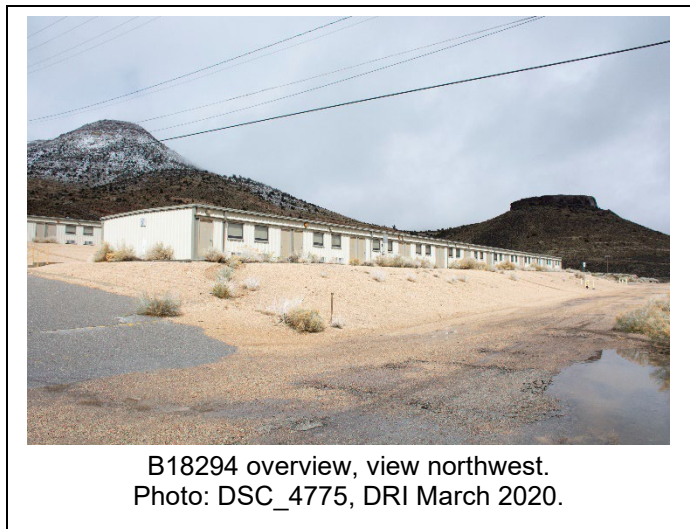
2. Property Overview and Location

Street Address		NNSS Area 12 Camp			
City, Zip					
County		Nye			
Assessor's Parcel #		N/A		Subdivision Name	
				N/A	
UTM Location (NAD 83, UTM Zone 11 North)			Easting: 574756		Northing: 4117058
USGS Info	Township: 8S	Range: 52E	Section: 34	USGS 7.5' Quad & Date: Rainier Mesa, Nev. 1997	
Ownership	Private <input type="checkbox"/>	Public-Local <input type="checkbox"/>	Public-State <input type="checkbox"/>	Restricted-Federal <input checked="" type="checkbox"/>	Multiple <input type="checkbox"/>
Should the property's location be kept confidential?			Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>

3. Architectural Information

(Insert primary photograph below.)

Construction Date	1989		
Architectural Style	Prefabricated		
Architectural Type	Metal		
Roof Form	Gable		
Roof Materials	Metal		
Exterior Wall Materials	Metal		
Foundation Materials	Concrete		
Window Materials	Metal		
Window Type	Fixed		
Accessory Resources?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
	Number?: 0		



Condition of Resource(s)?			
Good <input checked="" type="checkbox"/>	Fair <input type="checkbox"/>	Poor <input type="checkbox"/>	
Explanation: Maintained in standby status.			

4. Existing Listing & Potential District

Is the property listed in the National Register?		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Date Listed:
					NRIS #:
Contributing to a listed historic district?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	If yes, provide:	Name:	NRIS #:
				Date listed:	
If no, is there a potential district?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If so, is this resource contributing?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
District Name: NNSS Area 12 Camp Historic District				SHPO #: D372	

5. NRHP Evaluation

If not already listed, complete the information below:

Eligible Under:	Criterion A <input type="checkbox"/>	Criterion B <input type="checkbox"/>	Criterion C <input type="checkbox"/>	Criterion D <input type="checkbox"/>		
	Not Eligible <input type="checkbox"/>	Unevaluated <input checked="" type="checkbox"/>				
Area(s) of Significance	Nuclear Testing, Townsite Development					
Period(s) of Significance	1989-1992					
Integrity – Does the resource possess integrity in all or some of the 7 aspects?						
Location <input checked="" type="checkbox"/>	Design <input checked="" type="checkbox"/>	Materials <input checked="" type="checkbox"/>	Workmanship <input checked="" type="checkbox"/>	Setting <input checked="" type="checkbox"/>	Feeling <input checked="" type="checkbox"/>	Association <input checked="" type="checkbox"/>
General Integrity:	Intact <input checked="" type="checkbox"/>	Altered <input type="checkbox"/>	Moved <input type="checkbox"/>	Date(s): various		
Threats to Resource:	Redevelopment					
Historic Name	Dormitory 12-37					
Current/Common Name	Same					
Historic/Original Owner	U.S. Atomic Energy Commission					
Current Owner	U.S. Department of Energy Nevada National Security Administration Nevada Field Office					
Current Owner Address	Nevada National Security Site					
Historic Building Use	Dormitory					
Current Building Use	Vacant					
Architect/Engineer/Designer	Unknown Prefabrication Firm to specifications by Holmes & Narver (H&N)					
Builder/Contractor	Unknown					

6. Narrative Eligibility Justification

Provide a detailed explanation of the resource's eligibility for the National Register, including supporting historic information, methods for evaluation under the four criteria, discussion of the seven aspects of integrity, and conclusions about eligibility.

For purposes of the present survey, the resources in Area 12 Camp were evaluated only as they relate to the Historic District as a contributing versus non-contributing element. It is the nature of most of the individual elements of the district that they would not be individually eligible, but rather that, in the aggregate, they combine to create the unique significance of the district as a whole, which is presently recommended eligible to the National Register under Criteria A and C and unevaluated under Criteria B and D as detailed in the District form.

Since so many elements of the district have already been lost, those remaining elements from the period of significance have more comparative importance than they would have had otherwise. They are now in many cases rare survivors of what were formerly fairly common property types at the camp. With this in mind, the requirements for being considered contributing elements to the district are fairly low. If a resource still retains visible elements which date to the period of significance, it is considered contributing to the significance of the district both for its historic importance in relation to nuclear testing under Criterion A and as a part of the distinctive design and construction of the district under Criterion C. The companion question asked was if that resource was to be removed would the district lose some of its overall significance. In nearly all cases there is sufficient integrity to answer this question in the affirmative.

Due to the extensive resource-level of research beyond the capabilities of the present survey required to make justifiable recommendations regarding individual eligibility, this resource remains unevaluated under the criteria at this time. It is anticipated that such enhanced recording and evaluation will occur in the future as redevelopment plans mature.

Dormitory 12-37 performed an essential support role for testing in the northern portion of the Nevada Test Site during the final years of the Cold War period. It and its neighboring dormitories were the first permanent housing built in Area 12, clearly indicating that at that time there was no end in sight to testing activities. It is a good example of its type and is in excellent condition. The building and its surroundings retain all aspects of integrity to a high degree. It is a major contributing element of the Area 12 Camp Historic District.

7. Narrative Architectural Description

Provide a detailed description of the resource, including all character defining features, potential construction methods, potential alterations (both historic and non-historic), and any accessory resources.

PRIMARY RESOURCE

This dormitory is part of a series of five permanent dormitories built on the most northwestern block of Area 12 Camp, bounded by Logan Street to the east and Chena Street to the south. The other two boundaries are determined by paved local access roads and parking lots for the housing complex. The northern perimeter road was called 7th Street. This lot was initially graded and some utilities installed in 1961 as part of a dense array of housing trailers. As it turned out, aerial photos show that housing trailers were never installed on this block even though they are depicted there on 1962 camp maps.

For the intended small housing trailers the lot was lightly bladed since the terracing required for the trailers was so minimal. In contrast, even though the permanent dormitories were built along contour they still required significant terrace construction. Although executed in phases, all terracing was done as part of a single plan with uniform distance between dormitories of 85 to 86 feet. Ample flat spaces were allowed around the dormitories for access and drainage between each. Unpaved areas are now somewhat overgrown, mainly with rabbitbrush.

Dormitory 12-37 is an extremely long and narrow building (301 feet by 31 feet) built in the style of a motel with outside access to all rooms instead of the traditional axial hallway. It is built of prefabricated metal on a thickened slab-on-grade concrete foundation. Siding is pale yellow corrugated metal. The long east and west walls are identical with a rhythm of door, window, window, door, door, window, window, and so on, ending with a single doorway. Doors are flush gray steel. Windows are a horizontal fixed pane with gray steel surrounds. An in-wall mounted heater/air conditioner is beneath every window. Rectangular surface-mounted lights and fire alarms are spread along the upper part of the walls.

End walls are blank except for centered fire extinguisher brackets. The side-gable roof has a very low pitch. It has a full-length gutter which constitutes the fascia and periodic downspouts.

There are concrete walkways and steel railings along ramps to the paved parking areas north and south of the building. Parking areas are equipped with concrete tire stops. Decorative gravel has been placed between walkways and the building. Wood utility poles run along the edge of the parking area at the south side of the row of dormitories.

ACCESSORY RESOURCE(S)

None.

8. References

List references used to research and evaluate the individual property.

Area 12 Camp Engineering Records

Various. Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

Edgerton, Germeshausen, and Grier, Inc. (EG&G)

1979 Aerial Photograph of the Area 12 Camp c.1979 (Photographic Image No. NF1552). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

National Archives and Records Administration (NARA)

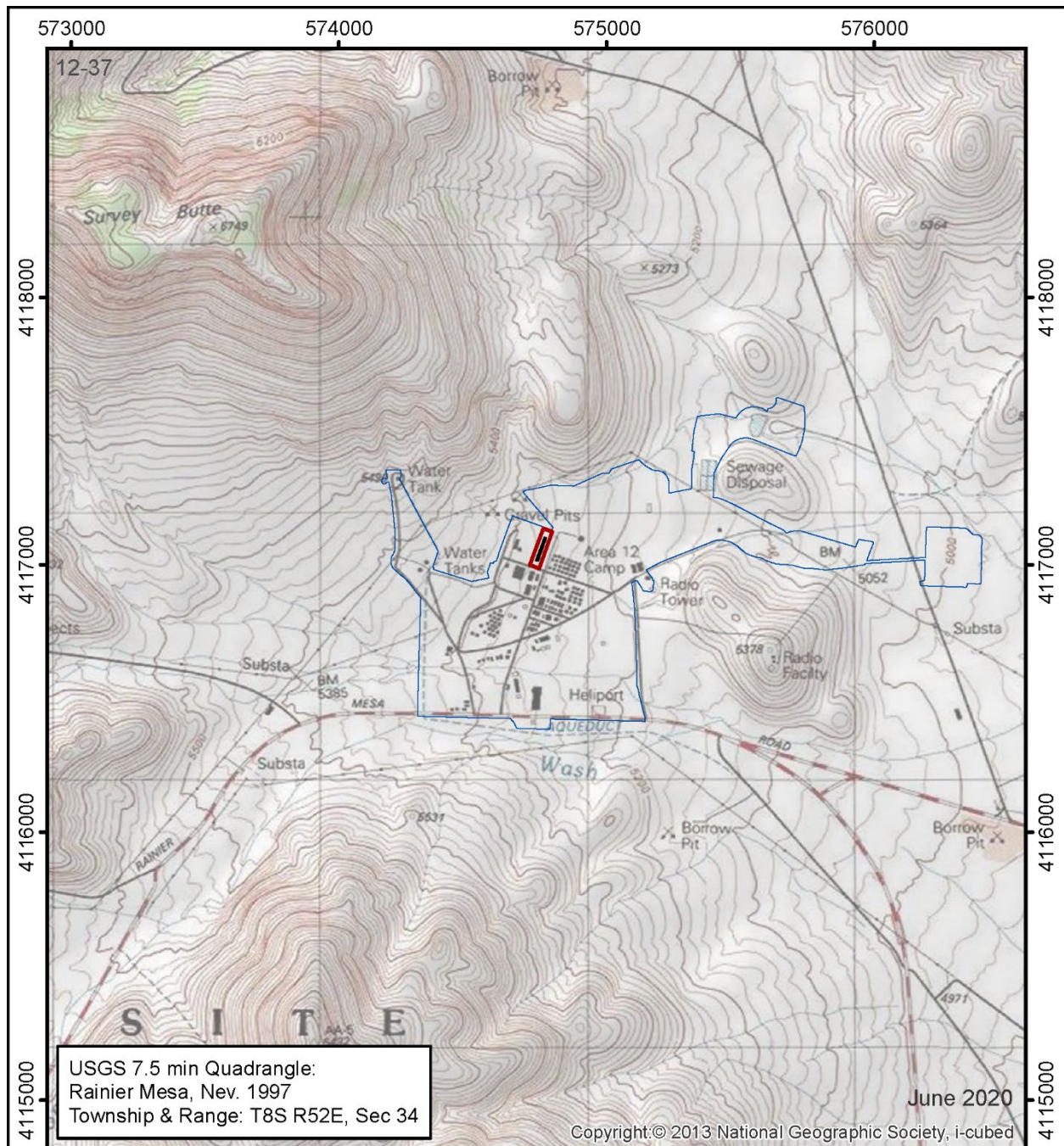
1991 "Saddle Mountain Project Aerials, Area 12." Series: Photographs Related to Nuclear Weapons Testing at the Nevada Test Site, 1/1972 - 12/2012, Record Group 434: General Records of the Department of Energy, 1915-2007. [Online version: <https://catalog.archives.gov/id/75491297>, National Archives and Records Administration, September 30, 2020].




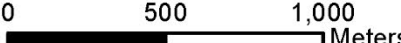
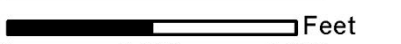


Reynolds Electrical and Engineering Co., Inc. (REECo)

1982 Photograph Album Index (1958-1976). Nuclear Testing Archive, US Department of Energy, National Nuclear Security Administration, Nevada Field Office, Las Vegas, NV.

9. Area Location Map

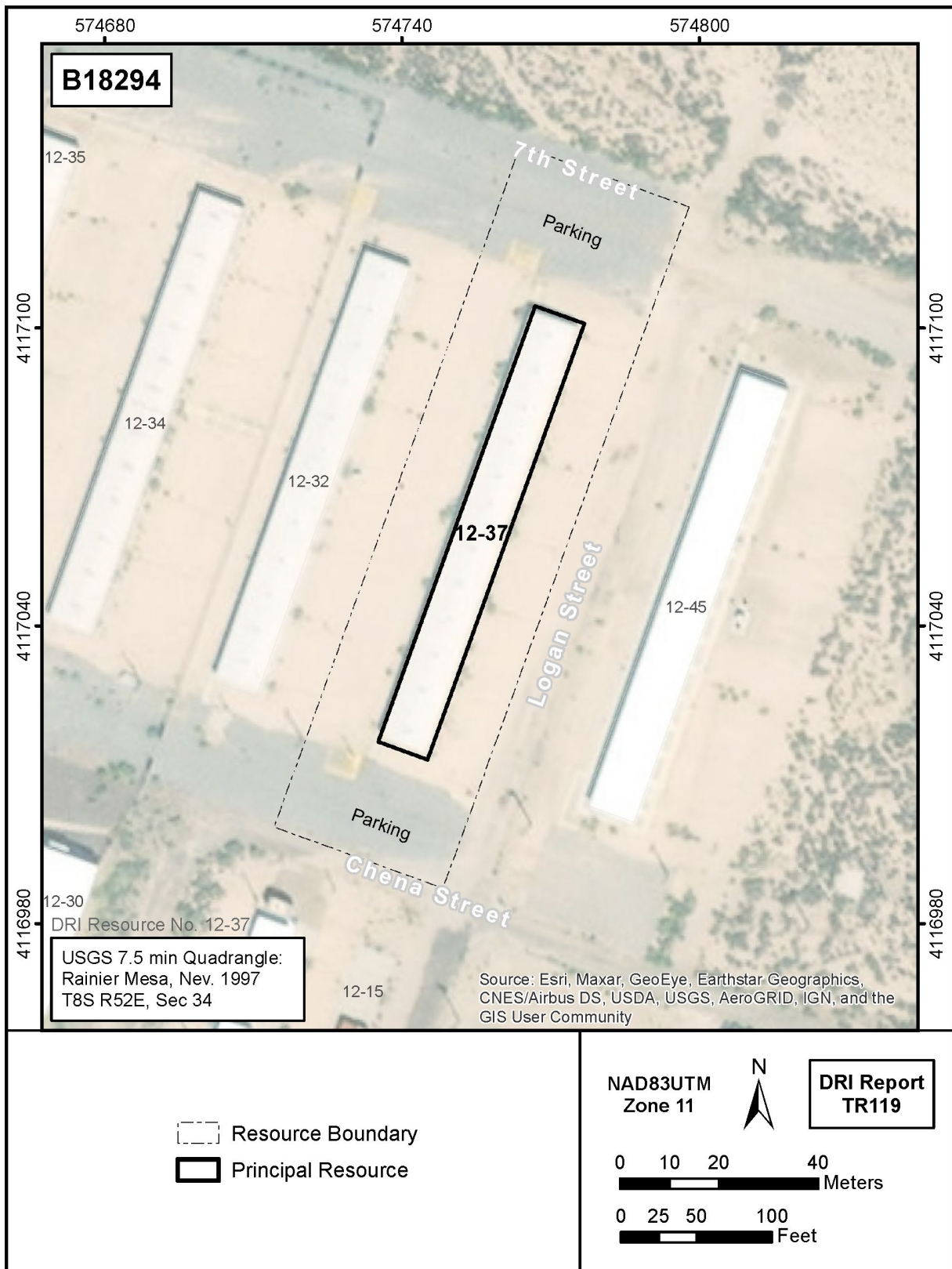
Use a USGS quadrangle map at large extent to show general area of resource.



<p>B18294</p>	<p>Scale: 1:24,000</p>	<p>DRI Report TR119</p>
<p>  Principal Resource  Resource Boundary  District Boundary </p>	<p>  Meters  Feet </p>	<p>  UTM Coordinate Zone 11 NAD83  </p>

10. Site Plan Map

Use aerial imagery, drafting software, or a hand-drawn sketch (to scale) showing, at minimum, building/structure footprints and relationship to associated features. Attach extra maps if needed.



11. Photographs

Include as many photographs as needed to accurately depict the resource.



DRI Photo: DSC_4780. Oblique view - west and south elevations.
Elevation: West/South Direction facing: Northeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4796. Oblique view - north and west elevations.
Elevation: North/West Direction facing: Southeast Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4762. North elevation.
Elevation: North Direction facing: South Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4764. Oblique view - east and north elevations.
Elevation: East/North Direction facing: Southwest Photographer: DRI Date: March 23, 2020



DRI Photo: DSC_4776. Oblique view - south and east elevations.
Elevation: South/East **Direction facing: Northwest**

Photographer: DRI **Date: March 23, 2020**

12. Accessory Resources – None

Complete only if Accessory Resources are present. Include as many extra entries as necessary.

Accessory Property Type

Building <input type="checkbox"/>	Structure <input type="checkbox"/>	Object <input type="checkbox"/>	Landscape (non-archaeological site) <input type="checkbox"/>
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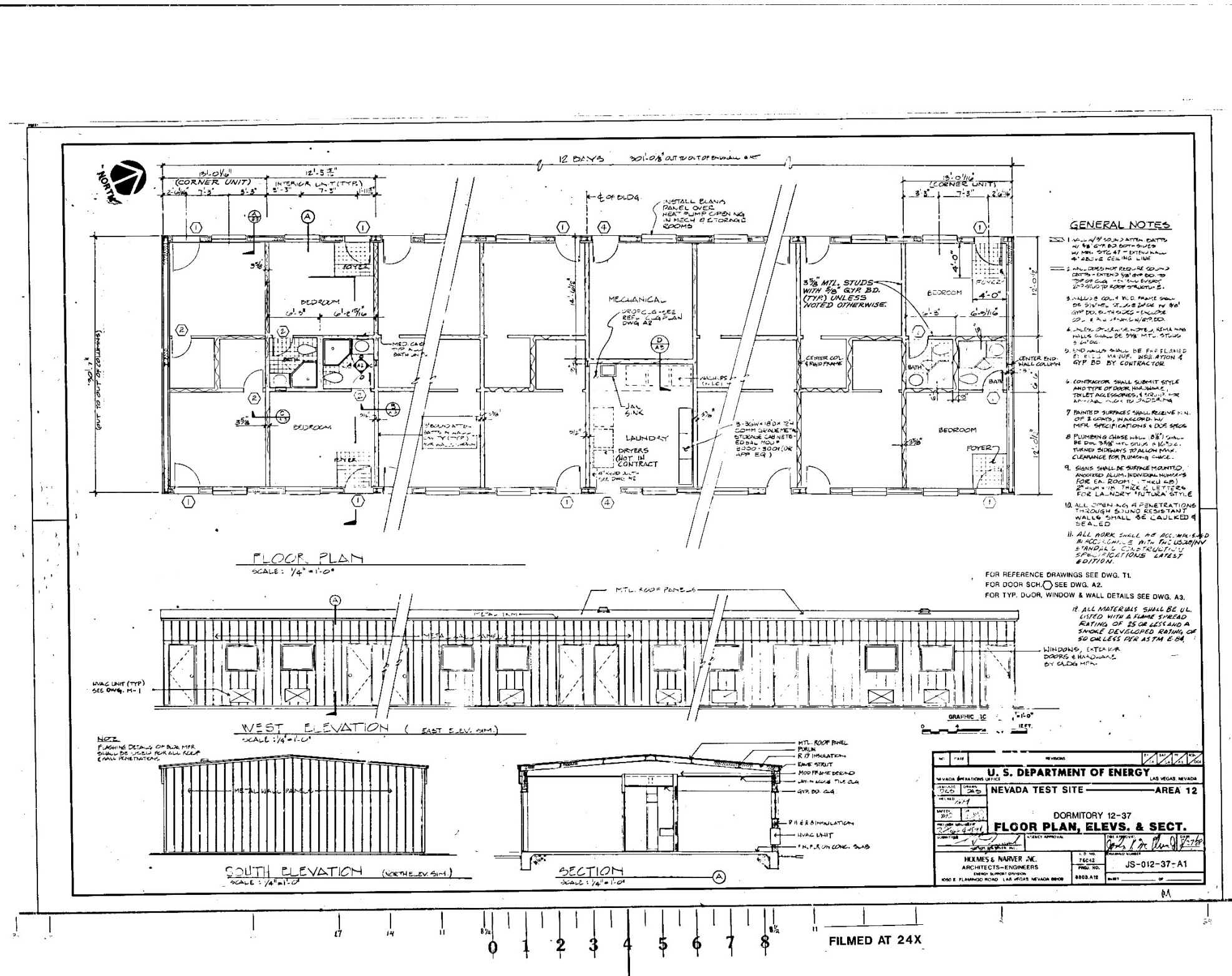
Accessory Resource Overview

Accessory Resource Name	Not Applicable		
Construction Date		Contributing?	Yes <input type="checkbox"/> No <input type="checkbox"/>
UTM (NAD 83, UTM Zone 11 North)	Easting:	Northing:	

Elevation: Direction facing: Photographer: Date:

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13. Engineering Drawings



Dormitory 12-37 Floor Plan, Elevations, and Sections from Holmes & Narver engineering drawing JS-012-37-A 1, dated May 27, 1988.

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